

B R A N T F O R D

**BRANTFORD  
HERITAGE  
CONSERVATION DISTRICT  
STUDY**

BRANT AVENUE



Prepared for: Brantford Heritage  
Committee

Prepared by: Townpride



THE CORPORATION OF THE CITY OF BRANTFORD

Being a bylaw to designate a defined area within the City of Brantford as a heritage conservation district.

\*\*\*\*\*

WHEREAS the provisions of the Ontario Heritage Act, Chapter 337, R.S.O. 1980, enable a municipality to designate a defined area of land as a heritage conservation district;

AND WHEREAS Bylaw 64-83, passed on the 9th day of May, 1983, defined the area shown on Schedule 'A' attached thereto as a Heritage Conservation District to be examined for future designation;

AND WHEREAS such examination has been completed;

AND WHEREAS the Official Plan of the City of Brantford contains provisions relating to the establishment of heritage conservation districts;

AND WHEREAS Council desires to designate a portion of the area defined by Bylaw 64-83.

NOW THEREFORE The Council of the Corporation of the City of Brantford under the provisions of Section 41 of the Ontario Heritage Act, Chapter 337, R.S.O. 1980, Hereby Enacts As Follows:

1. The area shown on Schedule "A" attached hereto and forming part of this Bylaw is hereby designated as a Heritage Conservation District.
2. This bylaw shall come into force upon the approval of the Ontario Municipal Board.

Approved by the ONTARIO MUNICIPAL BOARD  
Oct. 10, 1989

READ THE FIRST TIME OCT 11 1988

READ THE SECOND TIME OCT 11 1988

PASSED OCT 11 1988

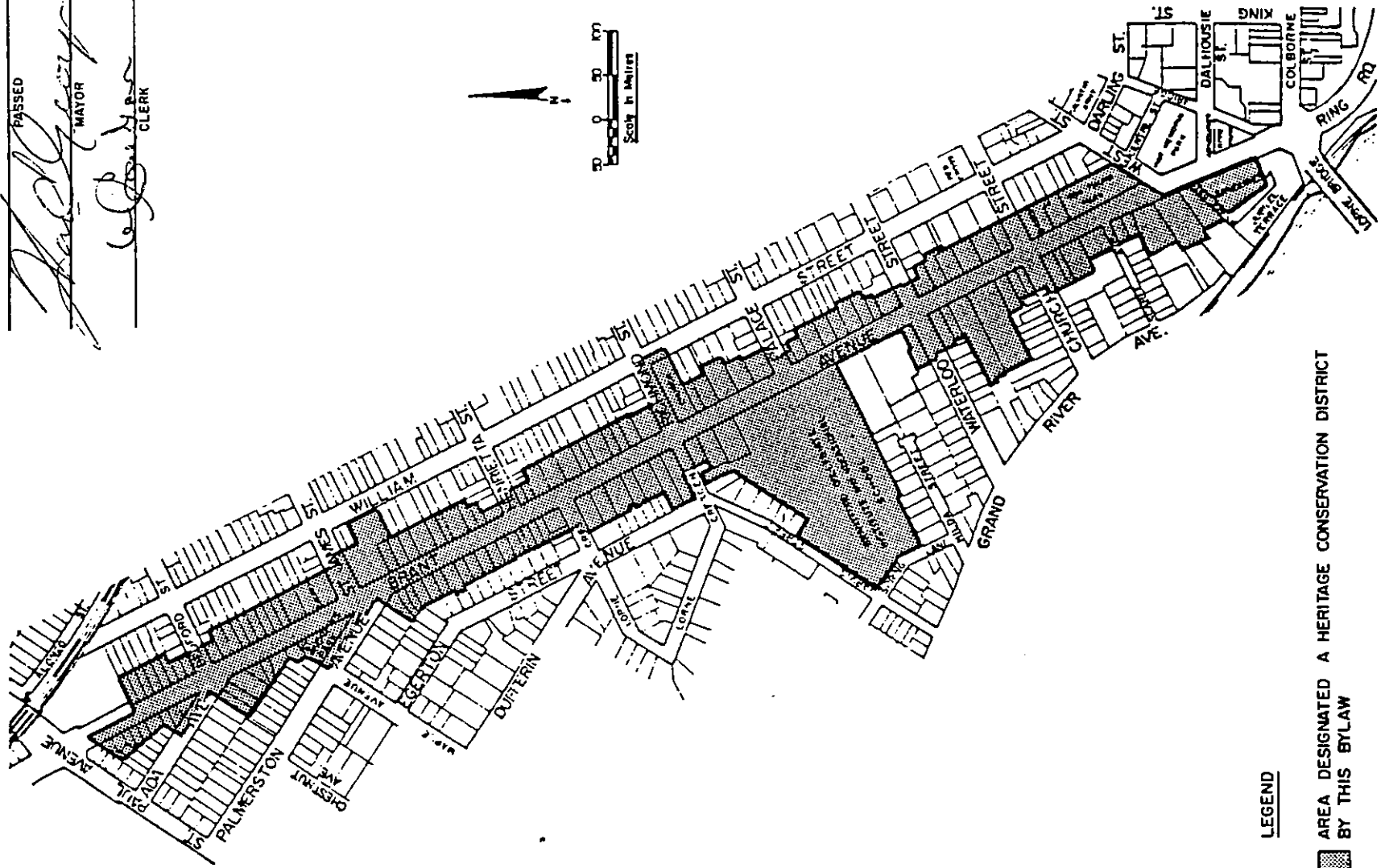
  
MAYOR

  
CLERK

THIS IS SCHEDULE 'A' TO BYLAW NUMBER 239-88

OCT 11 1988

PASSED  
*[Signature]* MAYOR  
*[Signature]* CLERK



LEGEND

■ AREA DESIGNATED A HERITAGE CONSERVATION DISTRICT BY THIS BYLAW

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	<b>Acknowledgements</b>				
<b>1.</b>	<b>Terms of Reference</b>				
<b>2.</b>	<b>Executive Summary</b>				
<b>3.</b>	<b>History</b>				
<b>4.</b>	<b>General Policies</b>				
	4.1	Introduction			
	4.2	Role			
	4.3	Land Use			
	4.4	Orientation			
	4.5	Heritage District			
<b>5.</b>	<b>Recommendations</b>				
	5.1	Built Form			
	5.1.1	Prototypical Solutions			
	5.1.2	Urban Design Guidelines			
	5.2	Open Space			
	5.3	Signage			
	5.4	Traffic & Circulation			
	5.5	Parking			
	5.6	Planning			
	5.7	Zoning			
<b>6.</b>	<b>Heritage District Master Plan</b>				
<b>7.</b>	<b>Implementation Plan</b>				
	<b>APPENDICES</b>				
<b>A.1</b>	<b>Inventory</b>				
	A.1.1	Problems & Opportunities			
	A.1.2	Office/Retail Mini Survey			
	A.1.3	Planning & Zoning			
<b>A.2</b>	<b>Analysis</b>				
	A.2.1	Architectural/Block-by-Block Analysis			
<b>A.3</b>	<b>Glossary of Terms</b>				

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**ACKNOWLEDGMENTS**

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**1. TERMS OF REFERENCE**

**1.1 Study Area**

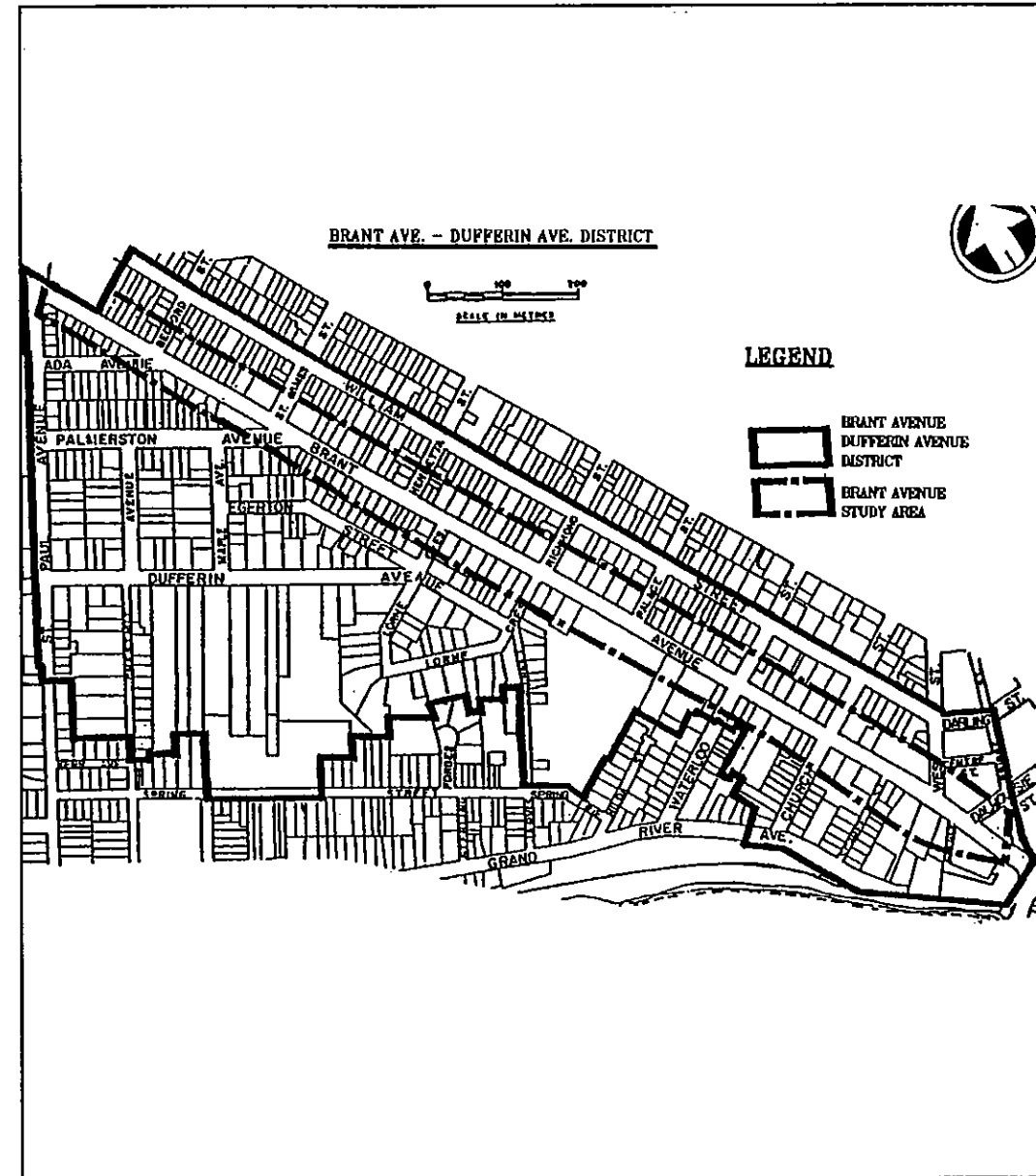
The overall study area has been defined as the Brant-Dufferin Area Heritage Conservation District. Refer to Map No. 1 for Brant Avenue Study Area.,

**1.2 Objectives of the Study**

- .1 Determine the merits and suitability of establishing a Heritage Conservation District under Part V of The Heritage Act, R.S.O. 1980, in the Brant Avenue area and define the specific boundaries thereof.
- .2 Establish recommended goals, objectives, and priorities relative to the heritage aspects of the Brant Avenue area.
- .3 Establish policies and design guidelines for the built environment in respect to both public and private structures.
- .4 Define public and private improvements which can protect and enhance the area's heritage and character.
- .5 Develop an implementation strategy to realize the recommended goals, objectives, and priorities for the area.

**1.3 Study Process**

This Draft Report is the result of a five (5) stage study process involving public meetings at the Inventory Stage, and the formulation of a policy paper. From input received from the public, the Brantford Heritage Committee, the Study Steering Committee, the City of Brantford and its related departments, this Final Report has been prepared.



MAP 1

**2. EXECUTIVE SUMMARY**

The following is a summary of the key recommendations contained within the Consultant's report.

**1. Heritage Conservation District**

Brant Avenue should be designated as a Heritage District. The Study Area fulfills the requirements contained in the Heritage Conservation policies of Brantford's Official Plan. The area represents a group of historically and architecturally significant buildings due to their style, originality, age, craftsmanship and identification with a specific period in Brantford's history.

It is recommended that the entire length of Brant Avenue within the Study Area, be incorporated within the Heritage District. This approach is preferable over partial or phased designation of Brant Avenue.

**2. Zoning**

It is recommended that Brant Avenue's role as a professional office centre be encouraged and strengthened.

It is recommended that the Modified Policy Area #22, which excludes further retail development, be extended to encompass most of the Study Area, or alternatively, those uses which generate high vehicular use, such as restaurants, fast-food operations and taverns, be restricted. See Map No. 3, Modified Policy Area 22.

**3. Orientation**

Brant Avenue should be enhanced as a major entranceway into Brantford's downtown. The development of Brant Avenue represents a prosperous phase in the history of Brantford. Because of the lawns and parks fronting Brant Avenue, and the numerous architectural landmarks and buildings of architectural interest, Brant Avenue forms an effective and distinctive entrance to Brantford. It is therefore recommended that Brant Avenue's existing role as a grand promenade to the downtown, and as a protective edge to the Dufferin residential area, should not only be maintained, but enhanced.

**4. Renovation/Restoration**

Due to the quality of individual buildings in the streetscape in total, the Consultant's recommendation is as follows:

1. In the Brant Avenue Study Area, sympathetic renovation and restoration should be encouraged.
2. Major re-design or re-modelling of the existing facades should be discouraged.
3. Remodelling should only be supported in cases where the facade has already been significantly altered and is no longer architecturally significant, or it is clear that an improvement will enhance an existing facade of such a building.

Because Brant Avenue's building fabric is largely intact, and has been well maintained in the past, building owners and tenants should give priority to the maintenance and repair of the existing exterior skin of their building, and to general conservation procedures.

**5. Urban Design**

Any infill or renovation project on Brant Avenue:

1. Must involve consideration of buildings beyond its own boundaries.
2. Should continue the streetscape rhythm that exists.
3. Should not exceed three storeys or 15 metres.
4. Should not be permitted to extend forward to the street beyond a line drawn between the most forward points of the flanking buildings.
5. Should be articulated by architectural detail as to relate to human scale.
6. Should maintain the verticality established by the majority of traditional structures on Brant Avenue.

Traditional building materials should be used for new construction and renovation.

Any infill or renovation project on Brant Avenue should employ traditional architectural details.

Any new infill or renovation project should use traditional colours which are typical to the period and design of buildings along Brant Avenue.

**6. Open Space Recommendations**

Public and private improvements undertaken should reinforce the historical character of the street by sympathetic plant selection and landscape design.

The sense of entry to Brantford should be strengthened, and the identity of the Brant Avenue Heritage District reinforced, through signage and feature landscaping at selected locations.

The development of a broad tree canopy above the public sidewalks consistent with the historical image of Brant Avenue should be promoted by encouraging the planting of such trees on private lands adjacent to the sidewalk.

**7. Signage**

A distinctive logo should be developed for Brant Avenue which incorporates the images, colour and typography that reflect the heritage theme.

Historical identification of all buildings should be considered to create pedestrian interest in the area.

All landmark buildings should be identified by a plaque.

All other buildings should be identified by a plaque denoting it as a Brant Avenue Heritage District property.

Street signs should be redesigned to include the logo and have an historical appearance.

Post signs and fascia signage which are compatible with the heritage theme of the area should be used for building identification.

**8. Traffic and Circulation**

The City of Brantford should undertake a detailed engineering study to determine medium and long-term solutions to the existing traffic congestion along Brant Avenue.

Enforcement of current parking restrictions along Brant Avenue during rush-hour should be more effectively and consistently enforced to achieve improvements in traffic flow.

The City of Brantford should undertake a study to assess the effectiveness of current fines and procedures in deterring local users from violating existing parking regulations.

Other than enforcement, there are no alternative short-term solutions which would change Brant Avenue's current function as a truck route and a major transportation link.

The intensification of retail activity along Brant Avenue is not recommended because it will heighten the traffic movement throughout the district.

**9. Parking**

The introduction of municipal parking lots is not recommended because of the scattered and linear nature of retail development along Brant Avenue.

The City of Brantford should initiate discussions with Brant Avenue property owners to develop a linear parking system which would organize and link existing rear parking areas.

Rear parking areas along Brant Avenue should be improved in landscape approach, organization, and identification of the lots.

**10. Heritage District Master Plan**

The Master Plan illustrates proposed improvements to the public boulevard and abutting properties. The aim of the Master Plan is to enhance the attractive quality of the existing streetscape, rather than to propose major and unwarranted changes. The Plan identifies:

1. As a first priority, immediate actions to visually upgrade the street, and increase the public awareness of its heritage value to the community;
2. As a second priority, opportunities to introduce amenities to the street over a longer time frame, which will provide a cohesive identity for the street and higher pedestrian amenity.



11. **Implementation**

Two scenarios are included in the report; these are based upon:

1. The Heritage Conservation District designation is approved by the Ontario Municipal Board (O.M.B.), or
2. Designation does not receive O.M.B. approval.

If designation is rejected, the City of Brantford should attempt to secure special policies for the Brant Avenue area. It is recommended in this instance, that the Modified Policy Area #22, which is already designated as a special policy area, be extended to encompass the majority of the study area. Those special policies to be developed include: site plan control; a revised zoning by-law; and parking policy modifications.

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The following is a brief synopsis of the study area's history, taken from information available through the City of Brantford.

Brant Avenue as presently part of Highway 2, a busy two-way main artery, began serving Brantford on or about 1823 with the opening of the Hamilton to London Road.

Saw and grist mills formed the beginning of established trade where family owned operations supplemented the business sector.

1850 - 1869

Increased farm productivity and the opening of the Grand River Canal marked the rapid growth of Brantford in these years.

Industry, in response to agricultural demand, increased significantly leading to expansion of flour milling operations and foundries for farm machinery production.

The first rail line routed through Brantford in 1854 also reinforced Brantford's growth. Twenty-one buildings were constructed within this time frame, the majority being located along Brant Avenue. In most cases, there were only two or three residential buildings located within any one block.

The study area's close proximity to the commercial/ industrial core in the Colbourne Street area accounts for its rapid residential growth in that walking distance to employment and shopping was desirable.

1870 - 1889

The expansion years of the 1870's boasted a heavy emphasis on manufacturing in Brantford. With the opening of large industrial farms such as Harris Kirby Mower (1871) and the Cockshutt Plow Company (1878), residential construction boomed and most of the larger homes along Brant Avenue were built.

More noteworthy buildings such as the W.H. Brethour House (now Beckett-Glaves Funeral Home); David Plewes house (now Brant Avenue Manor) and the Brant Avenue Church were designed by local Architect John Turner, (who also designed the original Toronto Union Station).

Brant Avenue was becoming extremely popular for many of the "movers and shakers" of Brantford. People such as Henry Brethour, Director of the local Fire Company and a business man, Hanson Harris, co-founder of Massey Harris; William Buck, founder of Buck Stove Works and Clayton Slater, owner of local cotton and Wincey Mills all lived along this Avenue.

1890 - 1899

By <sup>1890</sup>1900, the Brant/Dufferin neighbourhood was considered fully developed.

Severing of larger lots along Brant Avenue was not considered due to the importance of privacy enjoyed by the people.

Only after the introduction of municipal water supplies and sanitary sewers in later years, were the large lots subdivided.

1900 - 1914

The first fourteen years of the twentieth century demonstrated the greatest building boom in the study area.

Expansion of the railroad, an effective national economic policy and opening of the west combined to create the most dramatic growth cycle in Brantford's industrial history.

Acute housing shortage, a result of the increased influx of new workers led to more housing construction than ever before, although this had very little effect on the central area along Brant Avenue.

Between 1920 and present, for the first time, office and commercial buildings were being constructed, changing an exclusively residential Brant Avenue appearance.

As a fully developed area along Brant Avenue, construction activity ground to a halt by the 1950's and the demand for new housing shifted out to the suburbs.

In summary, the special history of Brantford and the role Brant Avenue has played historically, is outstanding.

Brant Avenue has been the centre of focus to the City where outstanding achievers built their lives, homes and businesses. All played main roles in creating the City of Brantford.

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Most notable would be the period of years between 1870 and 1889, where people such as Henry Brethour, Hanson Harris and William Buck participated in, and experienced, the tremendous growth of Brantford as was never repeated.

With the onset of the 1950's changing trends in the marketplace, as well as an increased variety of options for the people, lessened the importance of Brant Avenue. People gradually moved away to create other lives simply because of the ability to do so.

However, Brant Avenue still remains a vibrant entry to the City where historically fine, old homes and buildings continue to frame the street. The preservation of Brant Avenue as a Heritage District should be of prime interest to the people of Brantford.

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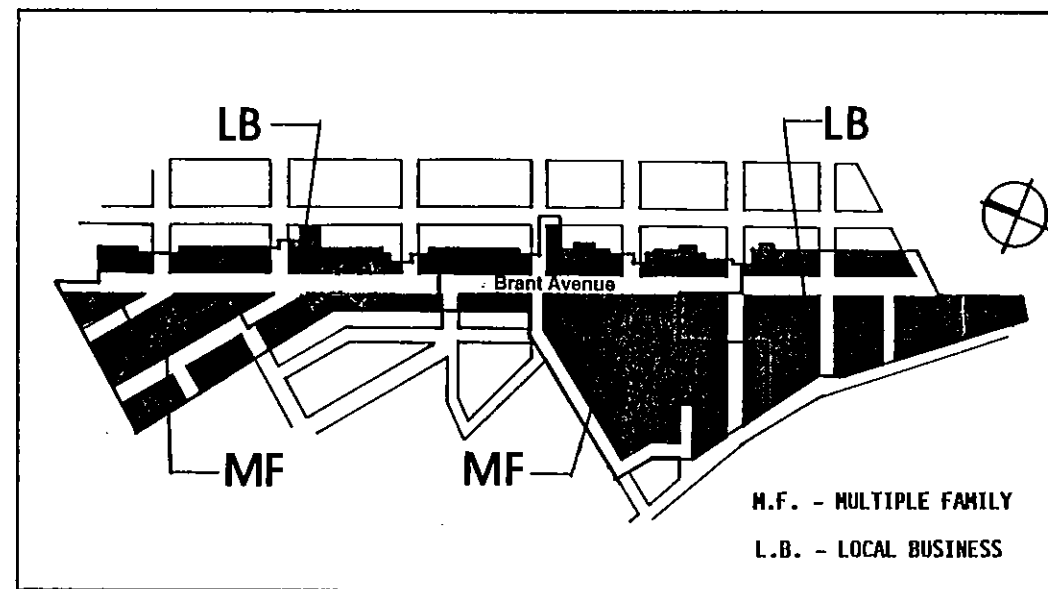
**4.1. INTRODUCTION**

Brant Avenue is an attractive, cohesive entranceway to the City and its downtown. The representative historic quality of this fine street can, however, be quickly lost. For example, the replacement of some fine older structures at the corner of Church and Brant Avenue with a small commercial plaza has not been sensitive to the texture, scale and character of the street. The new plaza has raised considerable concern about Brant Avenue's future character.

Brant Avenue's many architecturally handsome buildings, large lawns and trees are its finest assets. Maintaining these heritage qualities was a prime concern of the majority of people the Consultant Team met and interviewed.

The following 7 prime issues have been distilled from the problems and opportunities uncovered during the Inventory phase:

- 1) *Fear of pressure for change and conversion of uses;*
- 2) *Need to preserve the historic fabric of the street;*
- 3) *Need to resolve traffic congestion;*
- 4) *Need to resolve parking in general (lack of parking and on-street conflicts in particular)*
- 5) *Need to establish the future identity of the street and its related uses;*
- 6) *Need for communication and education regarding heritage matters and Heritage District in particular;*
- 7) *Need for a Master Plan and supporting regulations to ensure the development of a cohesive land use pattern for the street.*



MAP NO. 2 EXISTING ZONING

**4.2 BRANT AVENUE'S ROLE**

Prior to formulating detailed recommendations to address the seven prime issues noted above, and others identified through the Inventory stage, the Consultant Team established a range of potential scenarios that could be developed for the future role of Brant Avenue. These scenarios were divided into three aspects:

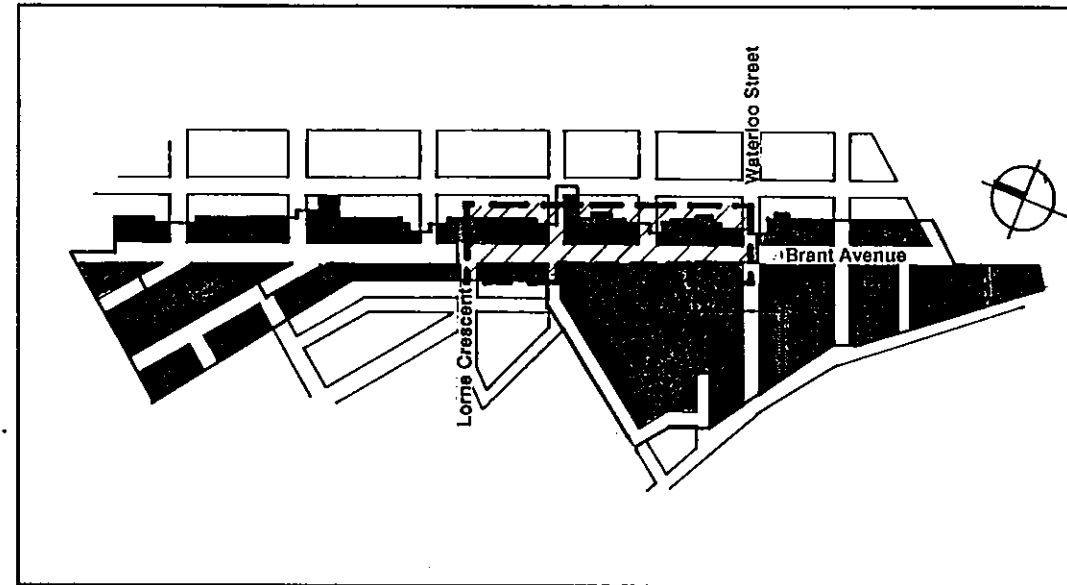
- 1) *potential future uses;*
- 2) *orientation; and*
- 3) *development controls, specifically Heritage District designation.*

In reviewing the variety of options that exist, the Consultant Team came to the following consensus:

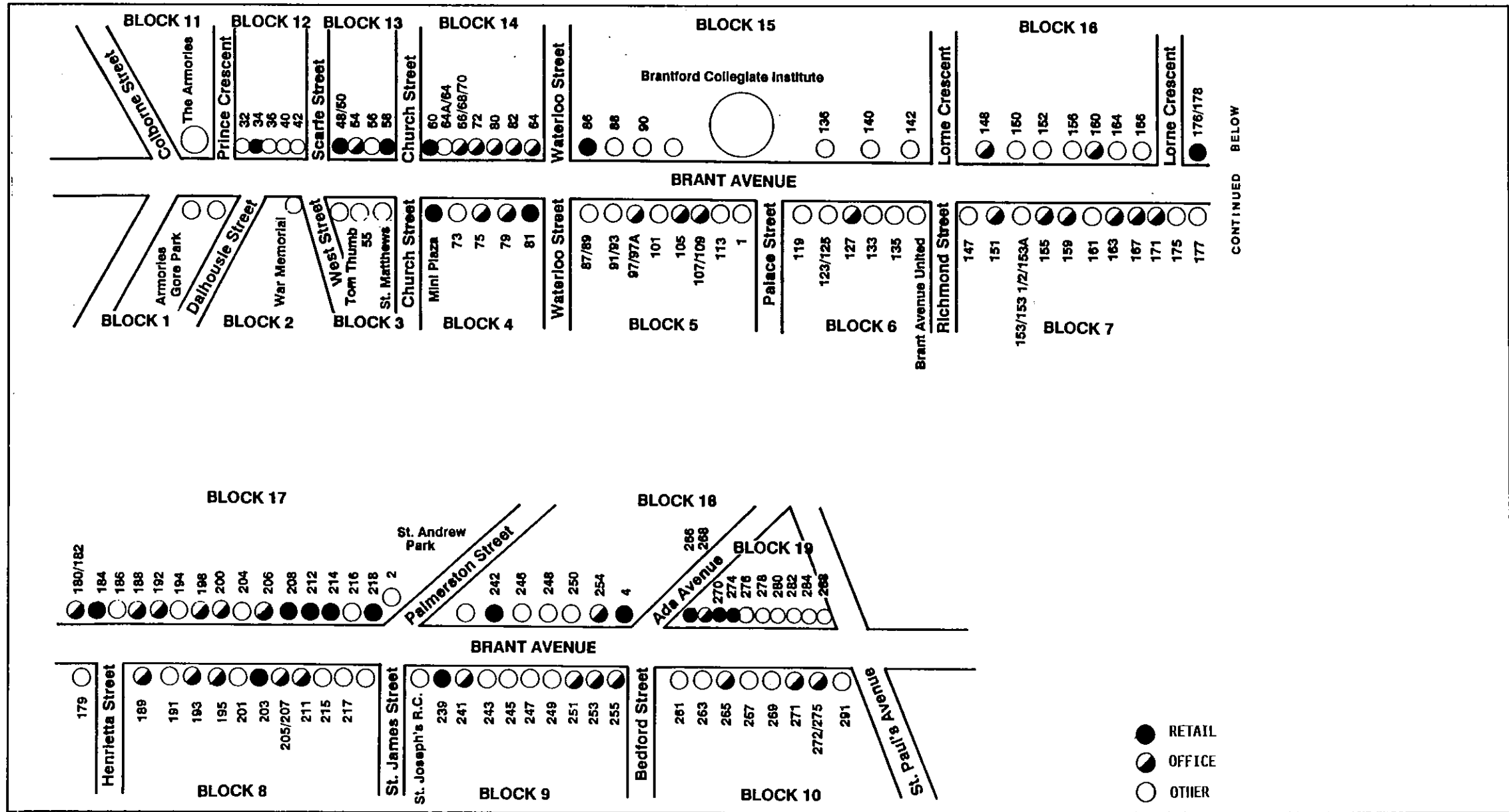
- 1) *the preferred role for Brant Avenue is a professional office centre, and this role must be strengthened;*
- 2) *Brant Avenue should be enhanced as a major "entranceway" into Brantford's downtown;*
- 3) *In order to preserve Brant Avenue's strongest asset, its existing physical fabric, it be designated as a Heritage District.*

The following is a summary outlining the principle reasons that the Consultant Team chose the above role for Brant Avenue from the variety of options that exist. The recommendations of this study support the policies of Brantford's Official Plan. The recommendation of the Consultant Team would be to extend the Modified Policy Area 22 north and south along Brant Avenue as illustrated on Map No. 3. This would restrict the approved Mixed Commercial/Residential Area to the following uses:

- 1) *single detached, semi-detached, duplex, triplex, and four-plex residential dwellings;*
- 2) *business and professional offices;*
- 3) *multiple family dwellings, including lodging houses located within a building originally constructed as a single detached residential dwelling;*
- 4) *art galleries and museums;*
- 5) *music, dance, photography or art schools or studios;*
- 6) *churches and places of worship,*
- 7) *accessory buildings and structures.*

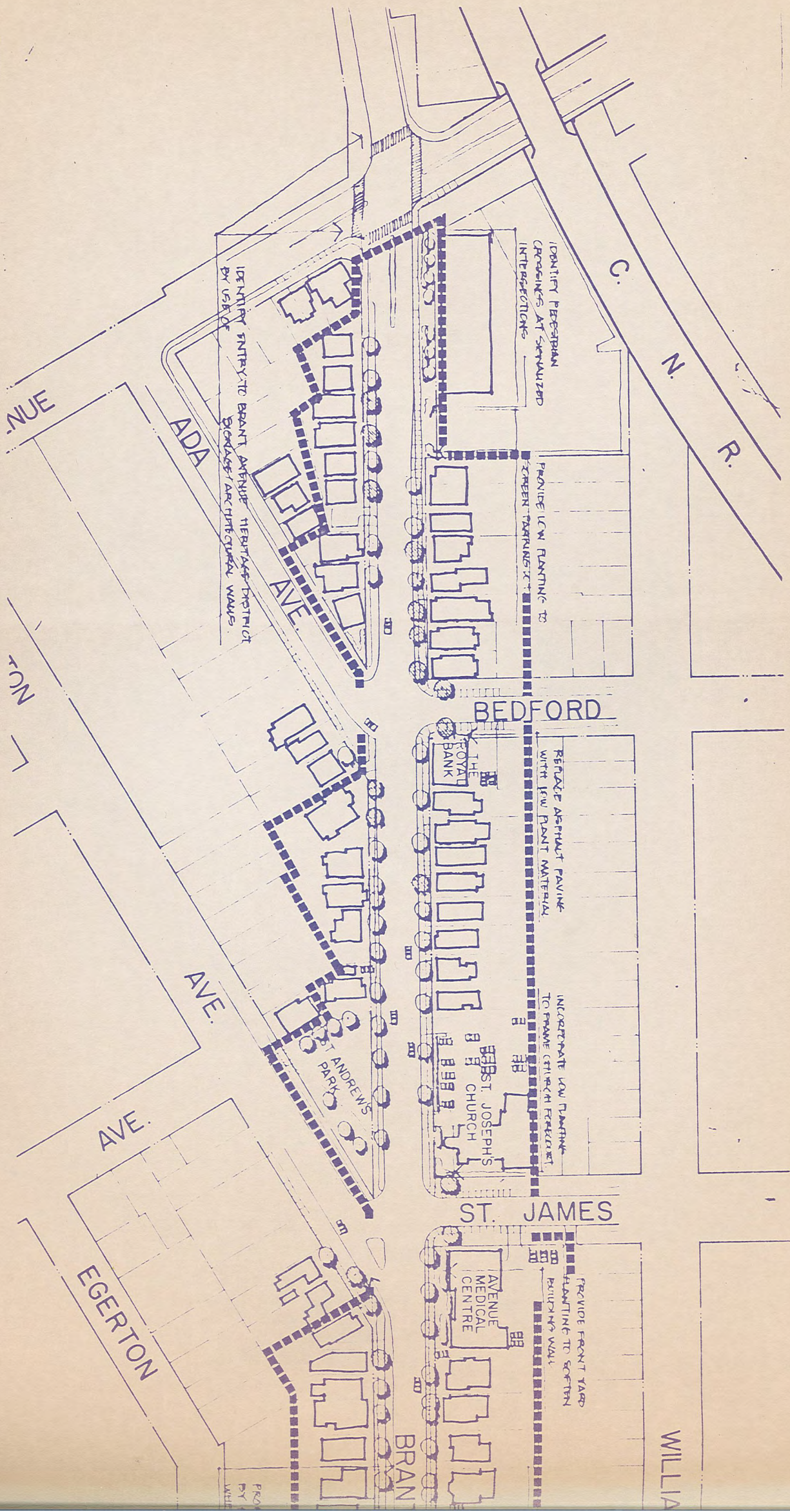


MAP NO. 3 MODIFIED POLICY AREA 22



MAP NO. 4 COMMERCIAL/RETAIL SUMMARY

CONTINUED BELOW



NUE

ADA

AVE

N

AVE

AVE

EGERTON

BRAN

BEDFORD

ST. JAMES

WILLIA

IDENTIFY ENTRY TO BRANT AVENUE HERITAGE DISTRICT BY USE OF BIODIVERSITY ARCHITECTURAL WAYS.

IDENTIFY PEDESTRIAN CROSSINGS AT SIGNALIZED INTERSECTIONS

PROVIDE LOW PLANTING TO SCREEN TRANSITS TO

REPLACE ASPHALT PAVING WITH LOW PLANT MATERIAL

INCORPORATE LOW PLANTING TO FRAME CHURCH FACADES

PROVIDE FRONT YARD PLANTING TO SOFTEN BUILDING WALL

THE ROYAL BANK

ST. JOSEPH'S CHURCH

AVENUE MEDICAL CENTRE

PROVIDE FRONT YARD PLANTING TO SOFTEN BUILDING WALL

M

PROVIDE FRONT TREE CANOPY ABOVE FRONT SIDEWALKS  
 PROMOTE STREET DEFINITION OF PUBLIC SIDEWALKS TO PROVIDE PEDESTRIAN FROM STREET TRAFFIC

### HENRIETTA

- ENCOURAGE STAFFED REAR PARKING AREAS  
 - PROVIDE DECORATIVE PRIVACY SCREENS AT REAR OF COMMERCIAL PROPERTIES

USE REGULATED TREE PLANTING TO DEFINE EDGE OF STREET AND PROVIDE INTERSECTION

### STREET

ATP FRONTAL BOULEVARD CHARACTER  
 PLANTED TREE PLANTINGS. ADD TREES  
 E. SAWS EXIST 1 REPLACE SECTIONS OF POOR HEALTH

### AVENUE

### RICHMOND

BRANT UNITED CHURCH AVENUE  
 IDENTIFY PEDESTRIAN CROSSINGS AT SIGNATURE INTERSECTIONS

### CRESC

INSTALL LOW PLANTING TO SCREEN PARKING FROM STREET

BRANTFORD COLLEGIATE AND VOCATIONAL SCHOOL

### PALACE

DEFINE ENTRANCES TO REAR PARKING WITH LANDSCAPE ELEMENTS

### STREET

- ENCOURAGE STAFFED REAR PARKING LOTS  
 - MINIMIZE ACCESS DRIVENWAYS  
 - PROVIDE DECORATIVE PRIVACY SCREENS AT REAR OF COMMERCIAL LOTS

### AVENUE

IDENTIFY & REPAVEMENT ENTRANCES COURTYARD BY FEATURE LANDSCAPING

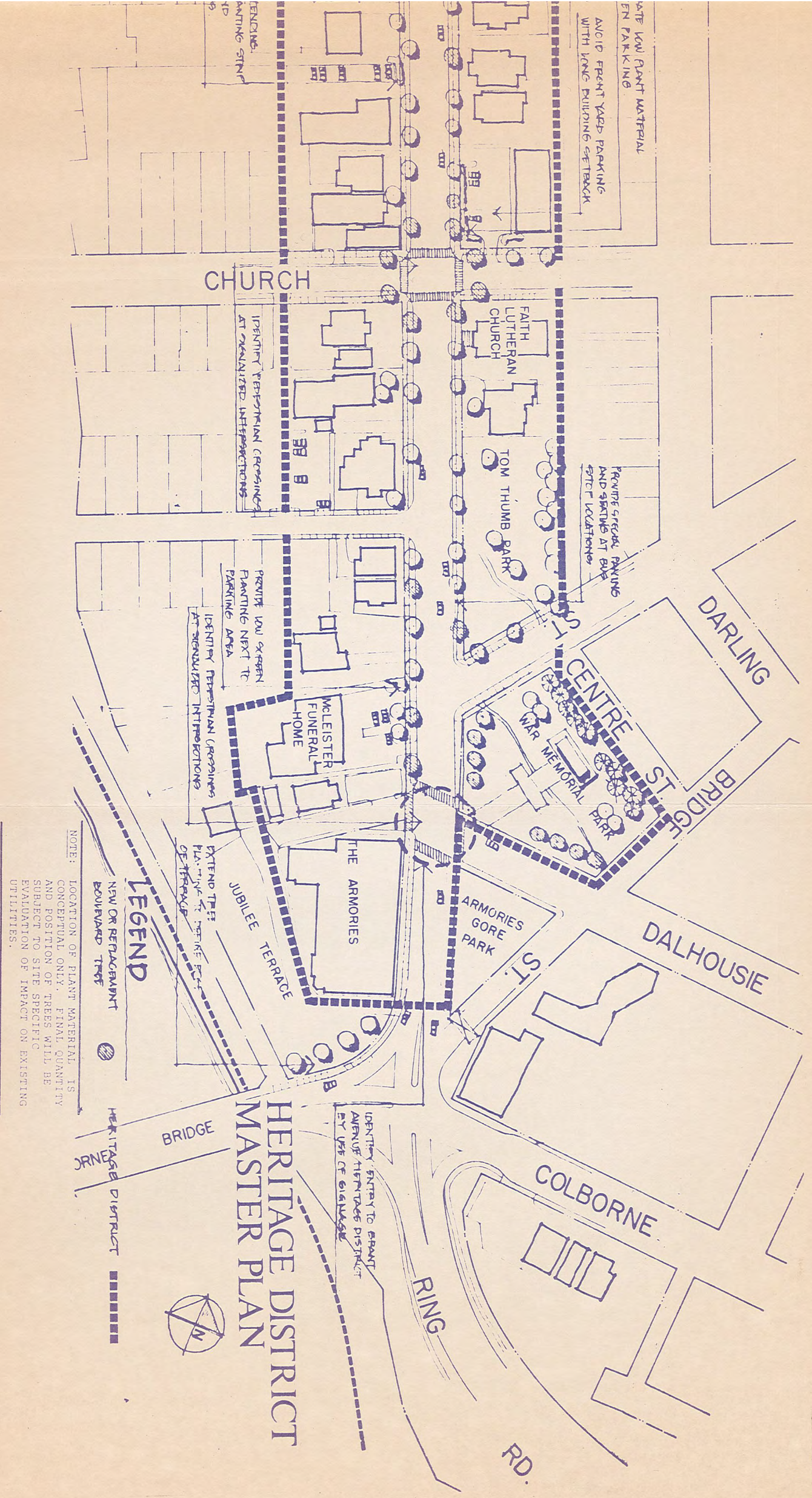
BECKETT-GILVES FUNERAL HOME AND CHAPEL

AND ASPHALT PAVING TO STREETLINE. PROVIDE STRIPED PARKED CAR STRIPLINE IN ALL  
 HERITAGE DESIGNATION

### ATERLOO

INCL TO





CHURCH

FAITH LUTHERAN CHURCH

TOM THUMB PARK

MCLEISTER FUNERAL HOME

THE ARMORIES

ARMORIES GORE PARK

WAR MEMORIAL PARK

JUBILEE TERRACE

DALHOUSIE

COLBORNE

RING RD.

DARLING

BRIDGE ST.

**LEGEND**

NOTE: LOCATION OF PLANT MATERIAL IS CONCEPTUAL ONLY. FINAL QUANTITY AND POSITION OF TREES WILL BE SUBJECT TO SITE SPECIFIC EVALUATION OF IMPACT ON EXISTING UTILITIES.

NEW OR REPLACEMENT FORWARD TREE



HERITAGE DISTRICT



**HERITAGE DISTRICT MASTER PLAN**

IDENTIFY ENTRY TO HERITAGE DISTRICT BY USE OF SIGNAGE

AVOID LOW PLANT MATERIAL IN PARKING WITH LONG BUILDING SETBACK

PROVIDE SCREEN PLANTING AND SEATING AT BUS STOP LOCATIONS

PROVIDE LOW SCREEN PLANTING NEXT TO PARKING AREA

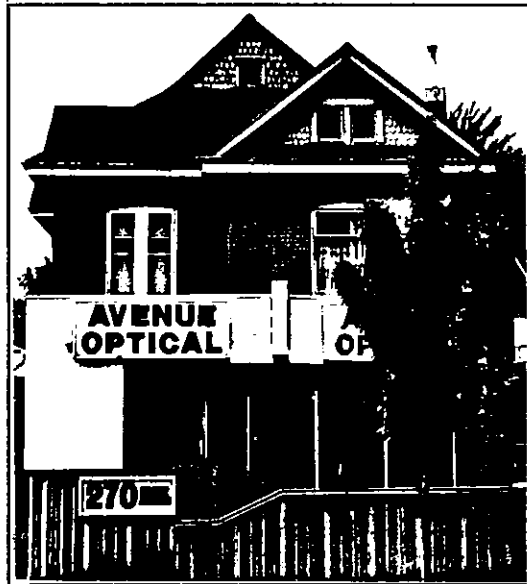
EXTEND TREES PLANTING TO INCLUDE EDGE OF TERRACE

IDENTIFY PEDESTRIAN CROSSINGS AT SIGNALIZED INTERSECTIONS

IDENTIFY PEDESTRIAN CROSSINGS AT SIGNALIZED INTERSECTIONS

IDENTIFY PEDESTRIAN CROSSINGS AT SIGNALIZED INTERSECTIONS

IDENTIFY ENTRY TO HERITAGE DISTRICT BY USE OF SIGNAGE



EXISTING OPTICAL COMPANY

#### 4.3 FUTURE LAND USE

Professional office uses are already prominent along Brant Avenue. There is currently little or no objection to this kind of land use, because it can be sympathetically incorporated into the existing building fabric. The larger houses, in particular, can be converted to office uses without major alterations.

Brant Avenue has become an attractive location for the medical profession, and in particular the optical/eye care segment of that field. Brant Avenue has allowed many professionals, as well as individuals and companies, the opportunity to operate their business within their own building. This provides these entrepreneurs with a sense of pride and identity in their community.

Parking was identified through the Inventory Process as an apparent problem. Although vehicular traffic is needed for certain professional offices to survive - particularly accounting, marketing, insurance, and real estate - the need for parking is not as extensive as that for retail/commercial.

On-street parking is beneficial to the professional uses. However, the removal of the parking along Brant Avenue, if necessitated by traffic congestion, would be less detrimental to professional use than to retail/commercial operations. Many professional offices have been able to accommodate their parking requirements by locating parking areas at the rear of existing buildings. This solution has generally proven satisfactory, although there remains a need for improvements in landscaping approach, organization, and identification of these lots. In addition, signage for professional offices can be accommodated in a coherent and sympathetic manner in a Heritage area. There exists on Brant Avenue a number of good examples that are attractive and sympathetic to the historic building design.

The Consultant Team reviewed other possible scenarios:

- 1) *combined office and retail use;*
- 2) *expanded retail commercialization;*
- 3) *increased residential uses.*

Any further expansion of the retail component was determined to be undesirable. Although the nature of the uses could be restricted, the extent to which these uses expanded could not be controlled. The high rents generated by successful retail operations could, in fact, force office uses off of Brant Avenue. It is preferable that existing retail uses be maintained as non-conforming uses.

Expanded retail uses would cause increasing complications regarding on-street and on-site parking. Retail uses of an upscaled or specialized "boutique" type nature will cause further change to occur to the street, as building facades are converted to storefronts, and retail/commercial signage is added to historic residential structures.

Extensive retail commercialization of this street was considered to be neither desirable nor easily achieved. The width of Brant Avenue, the existing traffic congestion, and the number of institutions and service/commercial uses prevent the street from becoming a viable pedestrian-oriented domain. Rather than further intensifying the mix of uses, and perhaps eroding the identifiable character and role that Brant Avenue already has, the Consultant Team felt strongly that the existing office/commercial use should be enhanced.

A significant increase in the residential component along Brant Avenue is also not recommended. There remain residential uses along Brant in the form of single- or multiple-family residential buildings. Due to escalating property values, and the heavy traffic along Brant Avenue, the single-family are likely to gradually disappear. Multi-tenant use of the existing homes need not change the exterior design, however, tenement or apartment conversion will result in significant alteration to the interior of these structures. These conversions may cause faster deterioration of the building's component due to the increased number of occupants.

Medium and high rise developments, residential apartments, or condominiums should not be encouraged within the study area.

#### Alternate Scenario

Rather than restricting all retail uses, the City of Brantford may wish to phase the implementation of the Consultant's recommendation, or limit the restricted retail uses, to those which generate the largest parking requirements. The designation of the study area as a Heritage District is essential to the preservation of Brant Avenue's character.

The implementation of the Heritage District will provide architectural and urban design guidelines that will address several of the prime issues:

- 1) *Fear of pressure for change  
(changes Incompatible with character and ambiance of Brant Avenue will not be permitted)*
- 2) *Preservation of historic fabric  
(principal goal of Heritage District)*
- 3) *Future identity  
(the existing quality and character of Brant Avenue will be preserved and enhanced to form a major component of Brant Avenue's future identity)*

- 4) *Communication re Heritage matters  
(In order to implement a Heritage District, everyone associated with its implementation, particularly the local property owners, must be well informed of all the facts, including benefits)*
- 5) *Need for a Master Plan  
(the Implementation of the Heritage District is the prime action required to assure that the Master Plan and recommendations of this study are adopted).*

A Heritage District for Brant Avenue would be the first for the City of Brantford. Previous attempts have failed. In lieu of simultaneously proceeding to address the remaining prime issues which are:

- 1) *traffic congestion,*
- 2) *parking,*
- 3) *development of a cohesive land use pattern for the street;*

In whole or in part by the extension of the Modified Policy Area #22, an alternative approach would be to firstly implement a Heritage District for Brant Avenue, and secondly restrict only those retail commercial uses which will cause the greatest disruption to the physical fabric of the street, and will exacerbate the existing parking and traffic problems.

It is recommended that the following uses be restricted:

- 1) *restaurants and taverns, including take-out*
- 2) *fast food operators.*

The above uses generate two to three times the parking requirements and associated vehicular traffic of most neighbourhood commercial retailers.

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#### 4.4 ORIENTATION

Brant Avenue's "Highway 2" status is beneficial to the reinforcement of an entranceway concept on Brant Avenue. The several large lawns and parks fronting Brant Avenue, and the numerous architectural landmarks and buildings of architectural interest, create an effective and distinctive entrance to Brantford. These properties represent an extremely prosperous time in Brantford's history, and provide a positive image for any visitor to Brantford. The citizens of Brantford, in order to have a vision of their future, must also have a sense of the past, as well as their present condition. Brant Avenue and Dufferin Avenue provide an excellent and positive "slice of history" which will become increasingly important to Brantford's citizens and to the Province. We believe that Brant Avenue represents a fine and unique streetscape of distinct architectural merit which should be preserved.

Visitors and tourists frequent the communities of Ontario and Canada to see the distinct nature of our downtowns and older areas. Brant Avenue represents that component for the City of Brantford in a very special way.

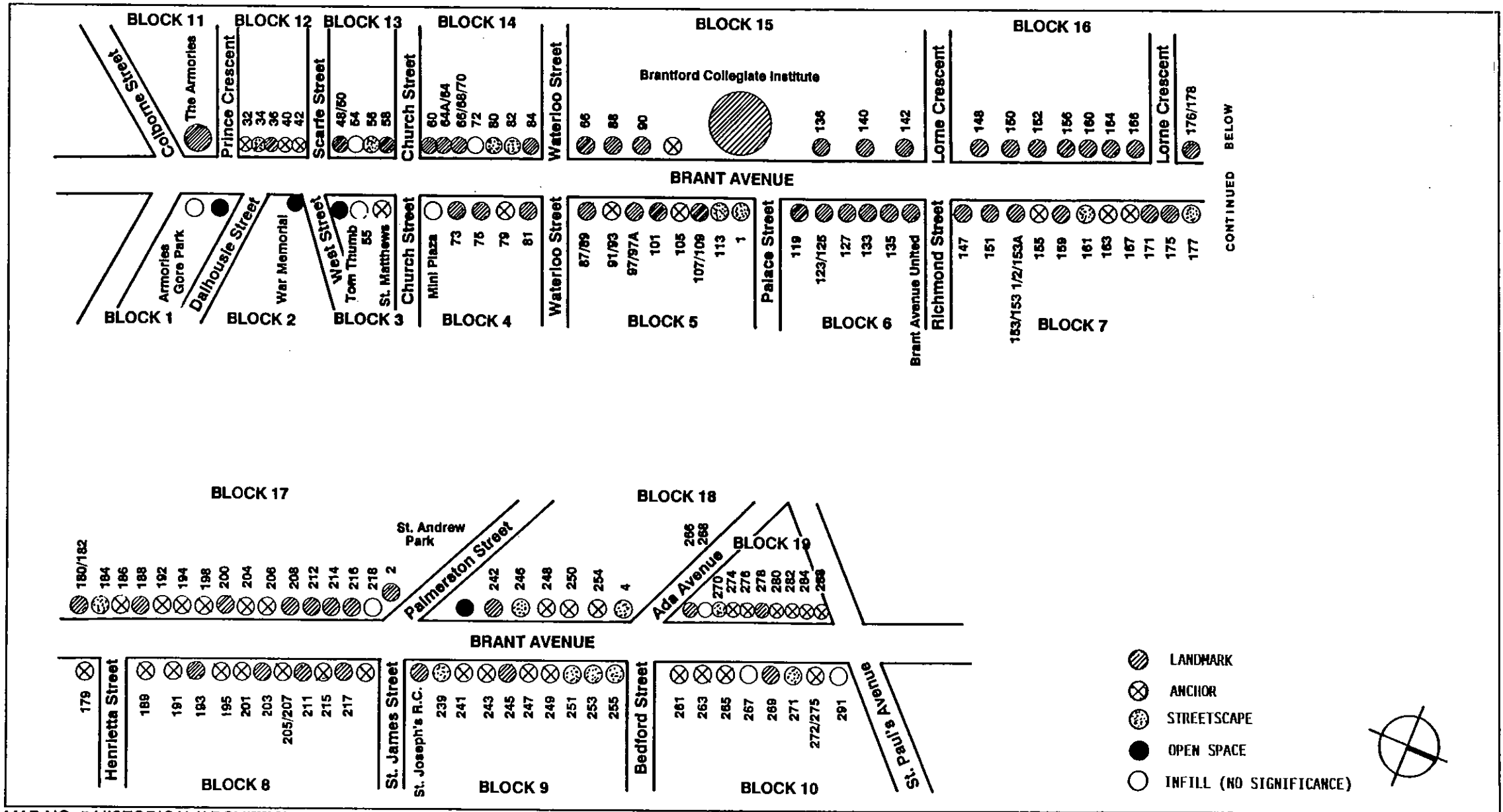
Brant Avenue's physical proximity to downtown Brantford and to the Dufferin Avenue area could be strengthened. However, due to the fact that it is currently perceived as a distinct and identifiable entity, separate from both these areas, we recommend that these alternatives not be pursued. It is unlikely, as well as undesirable, that Brant Avenue will become commercialized to the extent that it becomes an extension of the downtown commercial area.

Brant Avenue's transformation from its original residential use is likely irreversible, and therefore the interests of Brant Avenue will remain different than those of Dufferin Avenue.

*It is therefore recommended that Brant Avenue's existing role as a grand promenade to the downtown, and as a protective edge to the Dufferin residential area, should not only be maintained, but enhanced.*

*Through additional public sector investment, streetscape improvements and additional guidelines, the site plan approval process, and Heritage District designation, Brant Avenue could become a distinctive entranceway and tourist attraction.*

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MAP NO. 5 HISTORICAL/ARCHITECTURAL ASSESSMENT

#### 4.5 HERITAGE DISTRICT

In order to achieve the conservation of this fine building fabric within the City of Brantford, some form of guidance is required. In reviewing the viability of Brant Avenue as a Heritage District, we believe that the street has significant architectural merit to warrant designation. It not only contains numerous landmark buildings, but also many fine examples of late 19th century architecture.

The attached Appendices summarize the Consultant Team's evaluation in detail. The preservation of this fine fabric requires architectural control. The only mechanism available to the Municipality within the Planning Act of the Province, is through Section 5 of the Heritage Act, Heritage District designation. Although the site plan approval process can be utilized to assist in planning and architectural guidance of new development and infill development, all of these mechanisms do not assure either the preservation of these buildings, or sympathetic change compatible with the fabric of the area.

*It is recommended that the entire length of the Brant Avenue Study Area, with the exception of the existing designated properties and small portions at either end of the study area,, be designated as a Heritage District (refer to the Brant Avenue Master Plan.)*

The Consultant Team recognized the fact that the quality of the buildings along Brant Avenue varied in architectural merit. We believed that it was ultimately important to maintain the street as one entity, and that major change to any one segment of the street would alter the value and quality of the remaining historic portion. The protection legislated under the Heritage Act provides the best opportunity to direct new infill development to maintain the character and quality of Brant Avenue.

Brant Avenue could be designated as a Heritage District in two phases:

Option (1)

Phase I: Central Section known as Modified Policy Area 22

Phase II: Balance of the street, both North and South of this central section

Option (2)

Phase I: South and Central Section

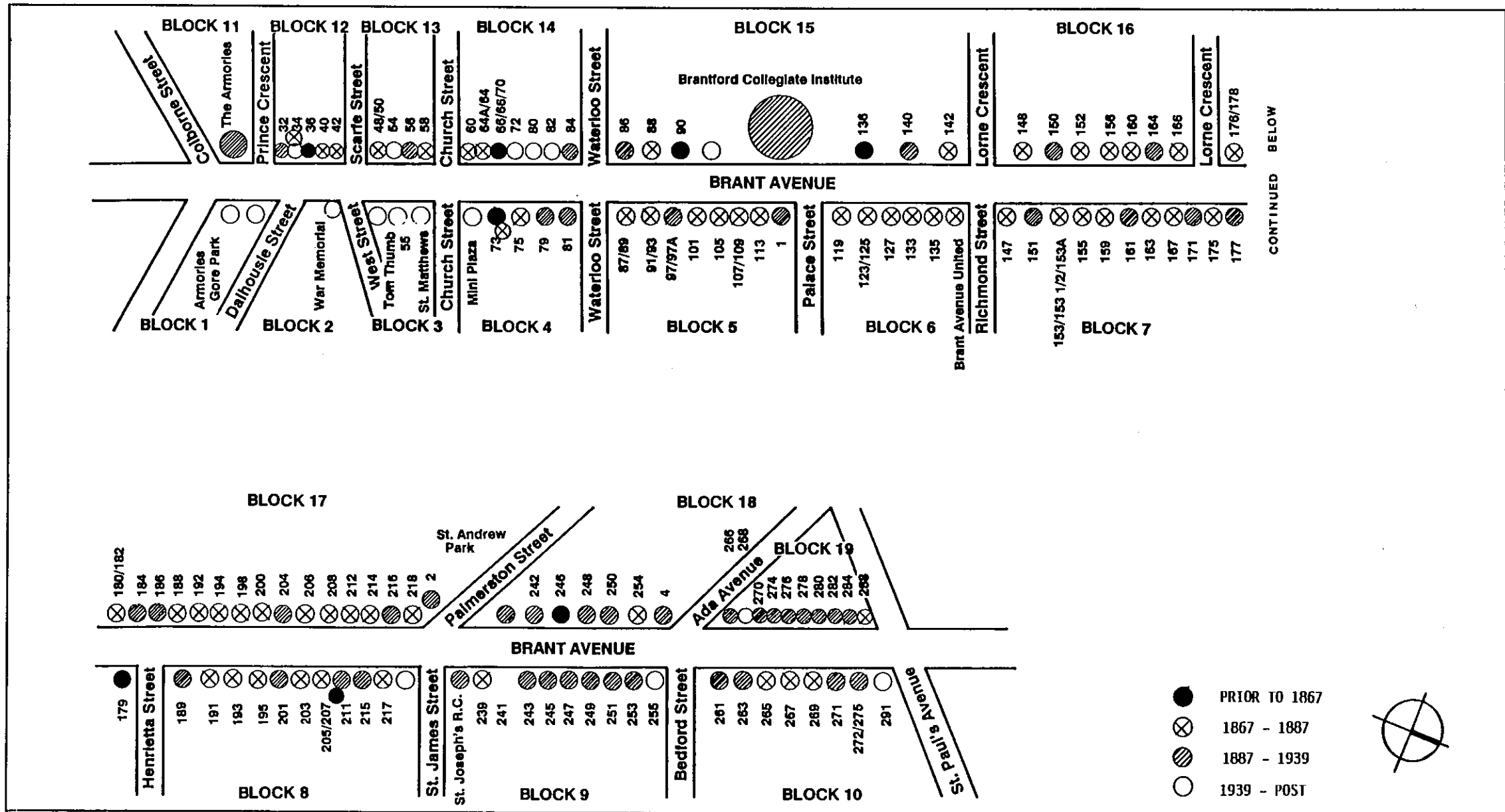
West Street North to Henrietta Street (east side)

and (west side) Colborne Street North to 180/182 Brant Avenue

Phase II: Balance of the Study Area to the North.

Both of the above two options would exclude many buildings appraised by the Consultant Team as Landmark or Anchor buildings beyond the Phase I boundary area to a future Phase II designation. This approach would leave many fine buildings unprotected and, in addition, allow the possible erosion of the non-designated areas through unsympathetic renovation, infilling and/or redevelopment.

*It is therefore recommended that the designation process not be phased along Brant Avenue. Rather, the Consultant Team recommends that a study be undertaken in the City of Brantford of the adjacent Dufferin Avenue and William Street Areas as possible Heritage Districts.*



CONTINUED BELOW

MAP NO. 6 APPROXIMATE CONSTRUCTION DATES

**INTRODUCTION**

The following recommendations are divided into 7 major categories:

- 1) *Built Form*
- 2) *Open Space*
- 3) *Signage*
- 4) *Traffic*
- 5) *Parking*
- 6) *Planning*
- 7) *Zoning*

**5.1 BUILT FORM**

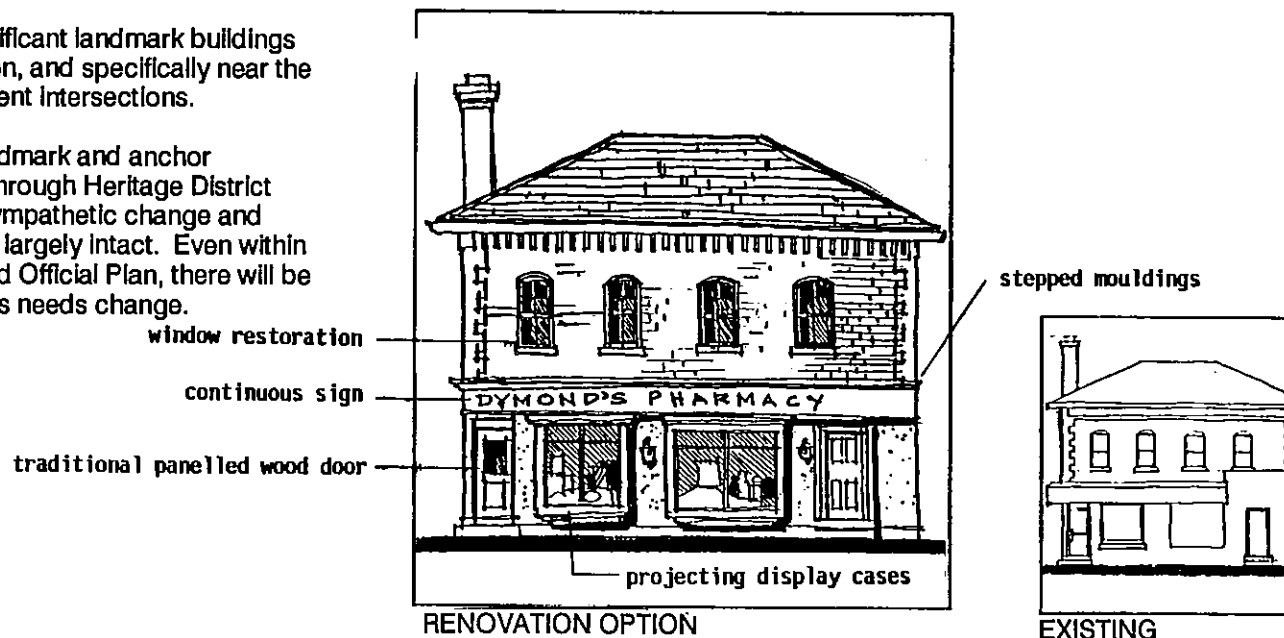
The majority of Brant Avenue's larger homes were built in the 1870's and 1880's, during a period when Brantford's economy boomed. Brant Avenue was a desirable location for many of the most prominent Brantford families. It was also the location of many of Brantford's important businessmen. Due to change in economic times and increasing traffic, Brant Avenue's character began to change with greater commercialization of the street into professional offices.

The quality of the street is clearly identified with a number of significant landmark buildings that occur along Brant Avenue, particularly in the southern section, and specifically near the centre of the street around the Waterloo/ Richmond/Lorne Crescent intersections.

Having established the importance of preserving not only the landmark and anchor buildings, but also the streetscape of Brant Avenue as an entity through Heritage District designation, a second key issue arises in how to best facilitate sympathetic change and rejuvenation. It is by good fortune that the original fabric remains largely intact. Even within restricted uses currently proposed by this study and the Brantford Official Plan, there will be a need to renovate, retrofit, and adapt these existing structures as needs change.

The inventory analysis undertaken by the Study Team has highlighted a number of problems in this regard. There appears to be a lack of knowledge as to the most appropriate means of undertaking the needed renovations. This comes from a lack of understanding as to the design principles originally used, and the materials which would be most appropriate to these Heritage buildings. This study will provide guidance in this respect.

*Recommendation:  
The Heritage District designation must be coupled with an education/ information program which will reinforce the principles established through the study.*





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**5.1.1 PROTOTYPICAL SOLUTIONS**

**APPROACH**

Prior to undertaking any exterior improvements to any of Brant Avenue's existing fabric, it is important to establish an approach. This assumes that the building meets minimum life safety standards, and is structurally sound. Brant Avenue benefits from a building stock which appears from the exterior, to have been well maintained.

*Recommendation:*

*Prior to undertaking any major renovation, an Owner should contact an Architect, an Engineer, or local Building Inspector to obtain advice.*

**FIRE & LIFE SAFETY STANDARDS:**

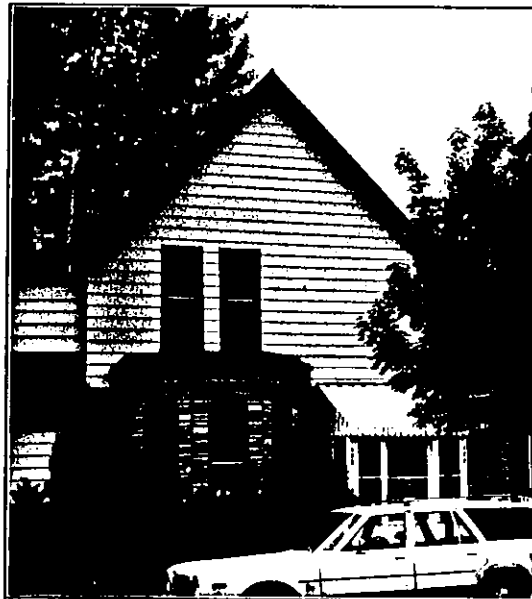
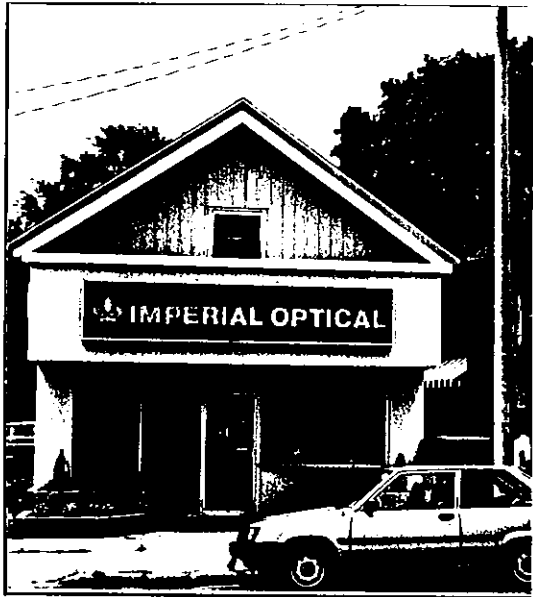
Many of Brant Avenue's buildings have been converted to multi-tenant occupancies. Minimum standards are set out in the Ontario Building Code (O.B.C.) for new construction and renovation, and in the Ontario Fire Code for required upgrading. Typical issues which are of concern in older buildings are: wall and ceiling finishes, fire rating of existing assemblies, fire separations, fire walls within and between buildings, fire alarm and detection systems, exiting and emergency lighting. The maintenance of adequate fire and life safety standards in older buildings is achieved through the Building Department and the Building Permit application process, by enforcement of Minimum Standards By-law, and lastly through periodic inspections of the Fire Department.

**Structural Stability:**

Of equal importance to fire and life safety is the structural stability of any older building. It is unusual that a building will deteriorate to the point that major elements, such as walls or floors, could collapse. From exterior observation, there does not appear to be any building along Brant Avenue that would fit this category. There are often however, smaller apparently less significant elements which frequently pose very dangerous conditions for public safety.

Examples would include such things as deteriorated balcony railings, loose balustrades, deteriorated steps and stairs, poorly bonded brick work, and deteriorated cornices.

After consideration of the above priorities, an appropriate approach must be taken to the revitalization of the exterior facade and building envelope. If there is to be a choice between cosmetic improvements and proper conservation techniques, the priority must be given to conservation.



**DESIGN OPTIONS:**

It has been previously established that Brant Avenue warrants designation as a Heritage District. The combination of both large and modest structures has created an exceptional streetscape worthy of preservation. Without guidelines, property owners have had to choose between three alternative approaches in undertaking improvements. These can be categorized as: *redesign/remodelling, renovation, or restoration.* Thankfully, there have been only a few owners on Brant Avenue who, in the past, have resorted to major remodelling of the building's exterior to achieve "a new look". Numerous owners have, in the past, renovated their buildings. Some renovations have been very sympathetic to the original style of the building. Others have inadvertently modified the appearance of their buildings by applying stock materials and solutions to achieve energy conservation or a weather-tight exterior. Lastly, there are other owners who have maintained their properties with almost no change over the long period, or who have restored their building to its original appearance.

**Due to the quality of the individual buildings, and of the streetscape in total, our recommendation is as follows:**

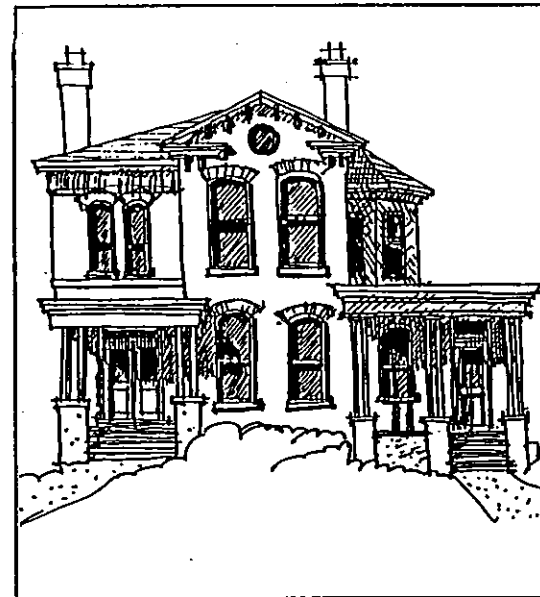
1. *In the Brant Avenue Study Area, sympathetic renovation and restoration should be encouraged.*
2. *Major redesign or remodelling of existing facades should be discouraged.*
3. *Remodelling should only be supported in cases where the facade has already been significantly altered to the extent that it is no longer architecturally significant; or it is clear that an improvement will enhance an existing facade of such a building.*

**RESTORATION:**

On Brant Avenue, there is an opportunity to achieve restoration quality and accuracy because there is a wealth of buildings which remains largely as initially constructed. There is a duplicate example of every style that occurs along Brant Avenue. In several cases, there are buildings that have been constructed as duplicates, mirror images, or complimentary pairs. Utilizing the guidelines of this Study, and resources within the Community, there is adequate information to assure the sympathetic renovation and restoration of every building along Brant Avenue.

The Brantford Heritage Committee has a wealth of information on the history of individual houses in the Brant Avenue and Dufferin Avenue area, and considerable photo documentation as well. By touring Brant Avenue and the adjacent residential areas, an Owner can find sufficient examples of similar buildings and elements to form the basis for of any building feature which will be required for restoration. If detailed technical information is required, information and services can be obtained from various sources: The Architectural Conservancy of Ontario; Ontario Historical Society; Ontario Heritage Foundation; The Ontario Ministry of Citizenship & Culture; Heritage Canada; Parks Canada; Canadian Heritage Magazine; and the Association for Preservation Technology.

Once designated as a Heritage District, individual owners will be able to, through the various provincial funding programs, draw on the resources of the Ministry to assist in assuring that both the design and construction are properly undertaken. In response to demand for programs, the Ministry of Citizenship and Culture has established a program entitled **Preserving Ontario's Architecture**. It is a two-part program, offering educational and technical support as well as financial assistance. The Province offers advice and training to LACAC members, municipal officials, property owners, heritage groups and building professionals involved in conservation projects. Educational support involves: technical publications, fact sheets and check lists, workshops, seminars and training programs.



**RENOVATION OPTION**



**EXISTING**

**PROTOTYPICAL EXAMPLES**

**Problems:**

This Study contains an historical and architectural, block-by-block analysis and assessment of the existing built fabric on Brant Avenue, as well as recommendations for each block and individual building. There were, however, a number of common design problems identified through the Inventory & Analysis process. These include:

- use of inappropriate or artificial materials unsympathetic to the original building design;
- cosmetic and romanticized remodelling of a "Colonial" nature;
- new unsympathetic entrances or canopies;
- inappropriate window replacements in design and use of materials;
- poorly executed changes in building openings; particularly the blocking of existing windows and doorways;
- loss of original architectural details;
- lack of detail in replacement elements;
- overgrown foundation planting;
- inappropriate signage design;
- poor use of colour;
- application of inappropriate building veneers;

Although there are many examples to draw inspiration from, there appears to be a lack of appreciation and understanding of building design and how to accommodate change by many Owners. The dominance of mass-produced materials and products in the construction market has resulted in inappropriate materials being used to replace worn parts or to undertake needed maintenance.

Because Brant Avenue's building fabric is largely intact and has been well maintained, the majority of recommendations in the block-by-block analysis address maintenance and conservation procedures.

**Recommendation:**

*Building Owners should give priority to maintenance and repair of the exterior skin of their buildings.*

Buildings can be severely damaged by the penetration of unwanted water into the building structure. Of primary importance is the maintenance of all roofs, eavestroughs, downspouts, flashings, cladding, masonry, paint, windows, and drainage. The source of the leak or water penetration must be first attended to. Repair of the damage will follow. There are several instances of masonry buildings on Brant Avenue requiring repointing.

There are many instances of overgrown foundation planting. The introduction of low shrubbery to give visual interest around the perimeter of the building has grown to the state, in several cases, where it now dominates the appearance of the building. Dense foliage around the base of older masonry or wood buildings frequently results in deterioration of the exterior skin from the constant presence of moisture. Dense undergrowth prevents ventilation of these lower building areas, or penetration of warm sunlight to dry the surfaces. Damp areas also promote the infestation of insects.



**SOLUTIONS/RECOMMENDATIONS:**

The following recommendations based on the common or prototypical problems found along Brant Avenue are based upon a sympathetic renovation and/or restoration approach. Recommendations are as follows for both revitalization projects and new infill development.

1. *Inappropriate Materials*

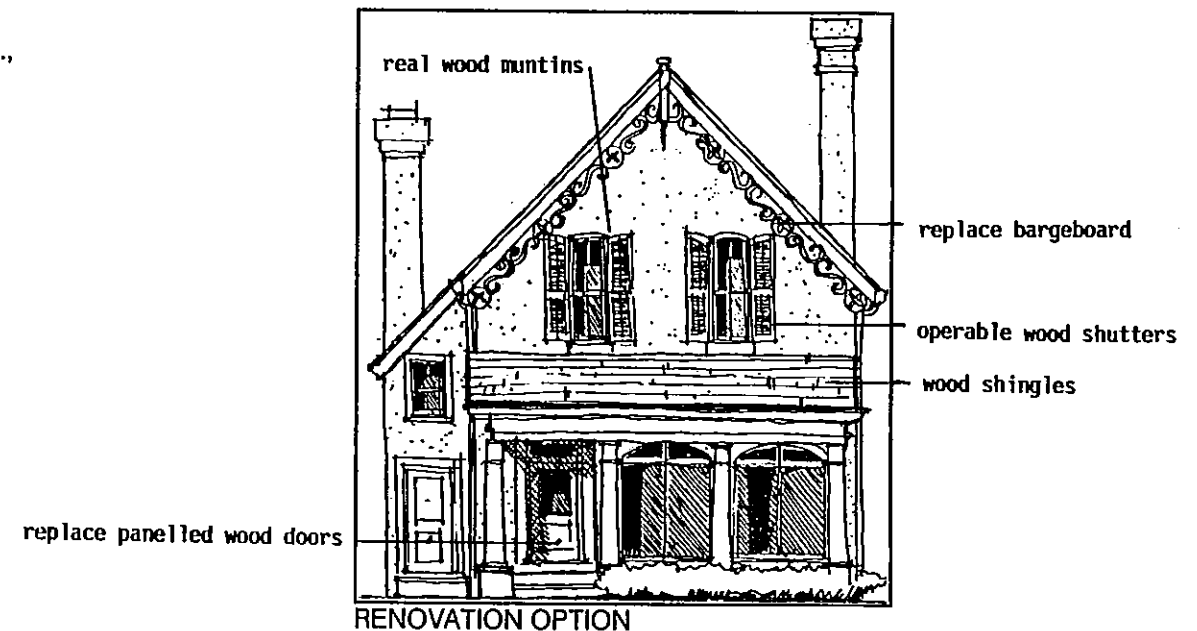
*Recommendations:*

*Renovation/restoration projects should utilize materials employed in the construction of the original building.*

*If new materials are employed, they should be used in a manner consistent with the original design, and adapted to replicate existing forms or conditions.*

During the last five years, there has been a greater appreciation of Ontario's history, and a wider range of products available in the market which have been designed for restoration projects, or for new construction involving traditional details and design elements. There are also numerous craftsmen and companies who specialize in exact replication of older profiles and details in the materials of the past. Stone and masonry provide greater challenge in the restoration process than wood or metal. Almost anything that was created in wood by carpenters can be replicated today. In choosing materials, those which typify the building period and style should be utilized in lieu of current contemporary products, i.e.,

- 1) repair or replicate wood eaves and fascias in lieu of aluminum flashings and claddings;
- 2) wood storms and windows in lieu of aluminum or vinyl;
- 3) wood doors in lieu of aluminum or hollow core metal;
- 4) wooden posts and columns in lieu of decorative wrought iron;
- 5) brick and stone paving in lieu of concrete interlocking pavers;
- 6) crushed brick, gravel, cobblestone, or brick paving in lieu of asphalt for driveways and parking lots;



**2. *Cosmetic/Romanticized Remodelling***

*Recommendation:*  
*Wherever possible, maintain the original facade design components and materials.*

Variation from this recommendation will lead to facades which appear to be eclectic or artificial in appearance. If a situation exists which necessitates major remodelling, the services of a design professional should be retained to successfully address the many design challenges that such a project will create.

**3. *New Entrance Canopies***

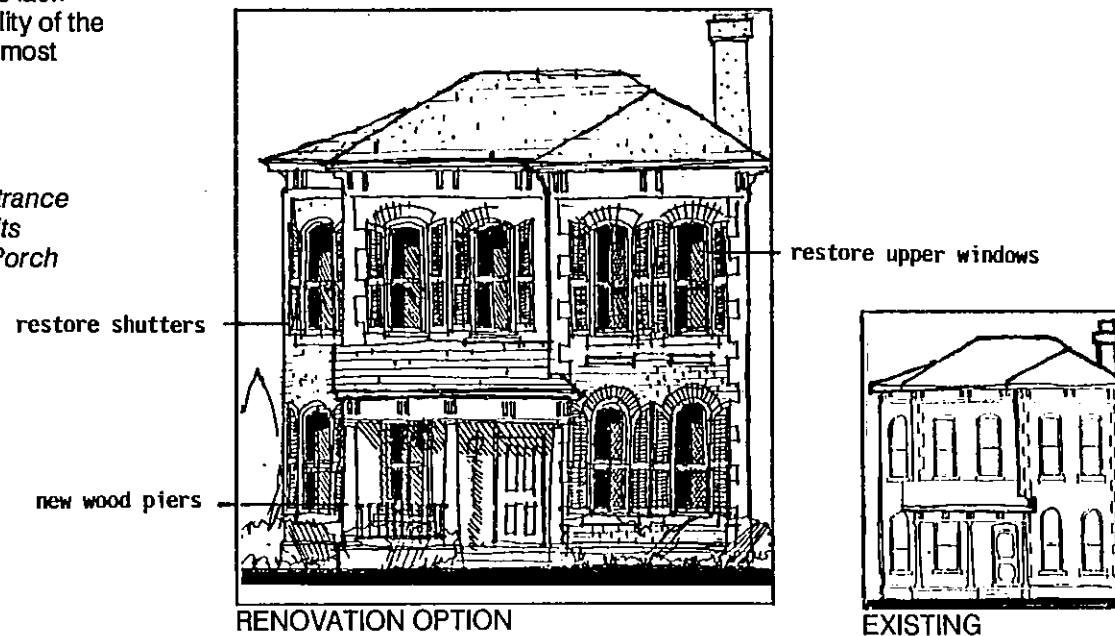
*Recommendation:*  
*If replacement of an existing entrance canopy is required, replicate original parts and materials. If a new entrance vestibule or canopy is required where none existed formerly, the design should be sympathetic to the original building style.*

Brant Avenue contains a number of existing buildings which had porches added during the Edwardian Period. Many of these additions possess a level of detail, scale, and proportion which is compatible with the original building design. More recent porch additions lack either the sturdy simplicity of the Edwardian designs, or the ornate decorative vitality of the Italianate style. Prototypical porch examples exist throughout Brant Avenue for almost every situation requiring either repair, replacement, or addition.

*Recommendations:*

*An entrance porch should reinforce the importance of the main entrance. The entrance canopy should add character to the design of the house, and distinguish it from its adjacent neighbours. Its size should be proportional to the scale of the house. Porch designs which shroud or conceal the entrance door should be avoided.*

Frequently, porches become enclosed entrance vestibules and as such, is preferable that walls between the supporting structure be treated as infill panels. The building design frequently did not anticipate the addition of a front projection. Therefore, a design approach which treats this front addition as a light structure normally creates a better "fit" to the facade.



**4. Inappropriate Windows/Doors**

Many of Brant Avenue's original houses incorporated, segmental or round arched windows. The infill of square windows or storms conflicts with the original design intent.

*Recommendation:*

*Replacement windows and storms should comply with the shape of the original opening.*

The division of the window into a series of multi-panes created a delicacy, texture, and interest to the original building design.

*Recommendation:*

*Wherever possible, the original configuration of the muntins and glazing barge should be replicated in replacement windows.*

The front door is one of the few exterior elements of the house with which both Owners and visitors come into close contact. The selection of the front entrance door design received considerable care and attention in reinforcing the overall house design, and added a distinctive identity.

*Recommendations:*

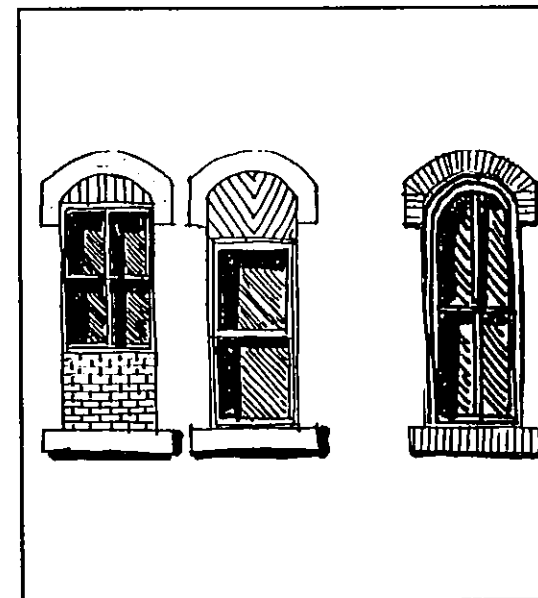
*The replacement of original doors with mass-produced stock doors should be discouraged.*

The exterior door was meant to be seen. It was perhaps sometimes protected by an exterior canopy, but it was not meant to be concealed by a storm door. Traditional solid wood entrance doors should be protected by repainting, proper flashings, and weatherstripping. The selection of the front door colour and the hardware which adorns the door should be carefully considered in order that it enhance the facade, and add the distinctive character required.

There are numerous examples along Brant Avenue in which the sidewalk leading to the front entrance door or porch is considerably narrower. In many cases, there is a lack of landscaping or defined edge to the walkway; is frequently a poor quality and needing repair.

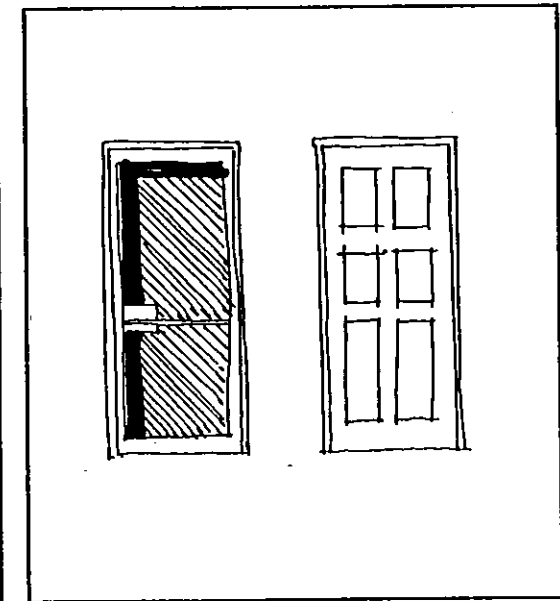
*Recommendation:*

*The design and restoration of an entrance porch and entrance door should include consideration for the design of the walkway leading to the porch as an integral part of the experience, from public land to private sector domain.*



UNDESIREABLE

DESIREABLE



UNDESIREABLE

DESIREABLE

**5. Masonry Restoration**

*Recommendations:*

*The use of sandblasting to clean masonry surfaces should be forbidden within any heritage district.*

*Masonry covered with paint should be cleaned with the most mild chemicals available that will do the job.*

*High pressure water or acid-based cleaners should be avoided.*

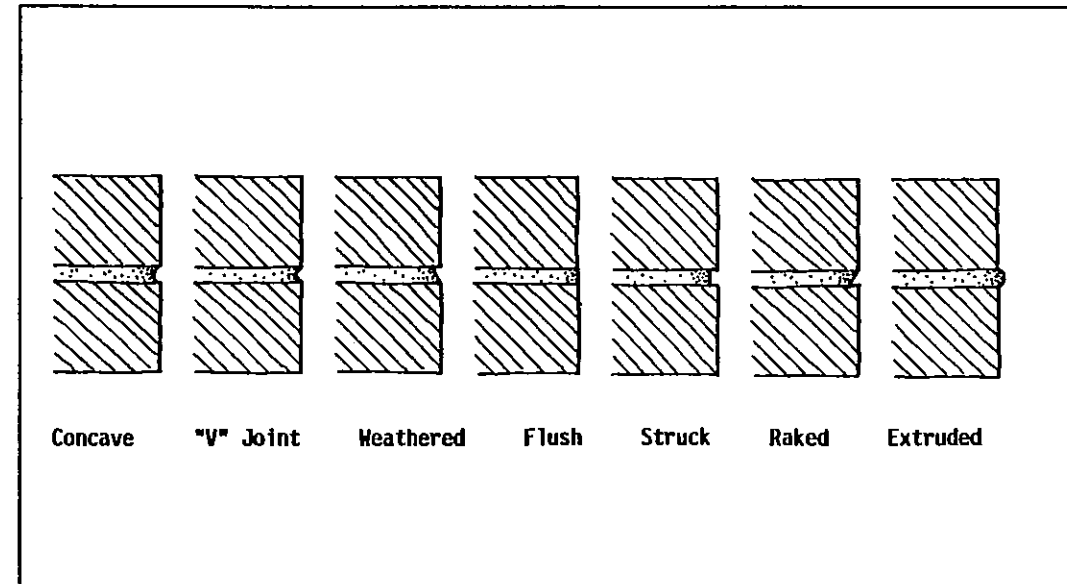
*Buildings should be painted with semi-gloss exterior latex paint, rather than oil-base paint.*

Many buildings along Brant Avenue have been sandblasted to revitalize the masonry exterior. Sandblasting is not an advised technique to achieve cleaning because it removes the outer protective surface of the brick. Protective coatings, i.e., silicone, are often applied to replace the original protective outer skin. It is difficult to achieve perfect coverage of these coatings, and the process may trap water inside the structure, creating greater damage than if the building was left in its natural state. Cleaning exposed masonry requires great care in order not to damage this outer surface.

The joint between masonry units binds the masonry together, and provides a water-tight seal to prevent moisture penetration into the brick. Traditionally, low strength mortar was used during the period in which most of Brant Avenue was constructed. The predominance of lime and sand gave the traditional mortar a light buff colour, which is considerably different than the grey colour of present-day high strength Portland cements.

*Recommendation:*

*When repointing the existing masonry, utilize low strength mortars matching style and colour of existing mortar joints.*



TYPES OF MORTAR JOINTS



6. *Wood Restoration*

Wood was a commonly used material in traditional residential buildings for: window and door frames, exterior flooring in porches, cornices and other decorative features for porches, canopies, shingles, clapboard siding, a variety of miscellaneous details. Wood was, and still remains, readily available, economical, reasonably durable, and easily worked. In order to preserve and maintain wooden elements, a protective coating of paint or stain must be periodically applied. Wood surfaces must be properly prepared as per manufacturer's instructions to achieve satisfactory adhesion and durability.

Wood will deteriorate quickly when moisture is allowed to penetrate its surface where it:

- :cannot be ventilated and allowed to dry;
- :is susceptible to insect attack;
- :is unprotected and;
- :water is allowed to accumulate over long periods of time.

Typical areas of damage seen in houses along Brant Avenue are: wood sills, where there has neither been proper maintenance to renew protective coating and prevent water penetration, adequate slope to the sill to allow shedding of water, and no flashings to help protect the wood and shed the water.

7. *Blocked Openings*

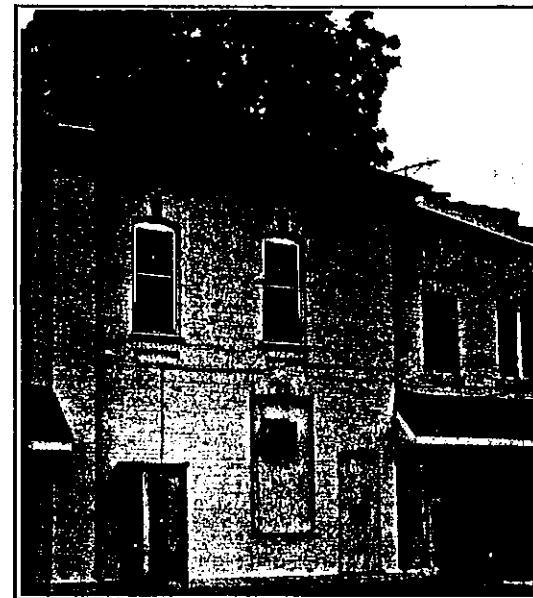
Many renovations along Brant Avenue have resulted in visible blocked openings for either existing former windows and doorways.

*Recommendation:*

*Wherever possible, existing doors and windows should not be blocked in.*

Blocking in of existing windows and doorways is frequently detrimental to the overall building design. The successful infilling of existing openings with re-claimed or new masonry (assuming brick building) is extremely difficult. There must be a successful match of brick and mortar to avoid the infill becoming an "eye-sore".

In cases where openings must be changed, it would be advisable to leave the existing door or window, and conceal the opening only on the inside. Windows, in particular, can be treated with shutters so that the fenestration remains in tact, and the existing opening is undisturbed.



8. *Architectural Details*

In the process of repair and maintenance, frequently architectural details are removed rather than undertaking the cost of replacement or replication.

*Recommendation:*

*Where possible, deteriorating decorative ornamental details should be repaired, maintained and replicated.*

Although replication and repair may appear costly, there is a direct loss in building value when architectural details are deleted. The character of the building suffers. Early repair and maintenance avoids costly replication and reconstruction at a later date.

9. *Lack of Architectural Detail*

There are numerous examples on Brant Avenue in which additions to existing buildings were undertaken involving the construction of new simplified elements, lacking the detail of the original building design.

*Recommendation:*

*When new components are added to an existing building, these components should replicate the design features of the original building.*

Brant Avenue possesses numerous examples of additions in which the general proportions and style of the building was followed, but without the distinctive details which distinguished the original structure. Although the owners of these properties intended the additions to be sympathetic, the fact that they were stripped of the architectural details makes the renovations only partially successful.



10. *Colour*

Paint has been used as a protective coating on many buildings. It has been used to conceal a variety of ills, and to give a fresh new appearance to the exterior. Colour, on the whole, however, has been used without a sense of creativity.

*Recommendation:*

*Colour should be used to highlight the architectural character of buildings, and to give individual identity.*

The use of colour is an inexpensive renovation/restoration tool. There are numerous traditional colour schemes that could be employed to articulate the various architectural components of the building design, or to add colour and new vitality to the building. Lastly, colour selection can be used to differentiate the identity of buildings of similar style and overall design.

*Recommendation:*

*Masonry buildings that have been painted should be restored. Repainting may, however, be the only option available for short term improvements due to costs. A common fault found in many painted buildings on Brant Avenue is the use of the background or field colour not only over the masonry and cladding, but also its application over the architectural details which distinguish the building.*

*Recommendation:*

*If a building is painted, a two- or three-colour system should be employed, i.e.: 1) a background colour which will cover the major mass of the building; 2) a second colour used to highlight the major features, such as cornices, belt course, columns; and 3) an accent colour to highlight minor details, such as window sash, dentils.*

11. *Veneers*

New building materials have been added over top of original construction on numerous buildings along Brant Avenue. Any exterior material will require maintenance. Proper maintenance or repair of original exterior cladding should avoid the need to apply new materials to the exterior of a building. Such applications often result in new technical problems. More importantly, in the case of Brant Avenue, the application of new veneers conceals the design and detail of the original building.

It is difficult to achieve the level of quality or the same design intent by the application of new materials never considered by the original designer or builder. New materials, such as aluminum, have their own specific limitations. Their standard forms, colours and details are considerably different than the materials of the 1870's/1890's. Adaption of these materials to suit or replicate original design features is often costly.

*Recommendations:*

*A mix of materials from different periods should be avoided.*

*Additions to existing heritage buildings should utilize materials compatible with the renovations of that period.*

*Where exact match cannot be achieved, contrasting but complimentary material should be used. For example, wood and stucco additions to original brick buildings are generally more acceptable than those clad in aluminum siding or angel stone.*

Although new materials are often applied to buildings with the intention that the application will appear as original, in the majority of cases the new material appears to have been added. Rather than enhancing and giving added quality, their application detracts from the building's appearance and reduces its value.

**Miscellaneous:**

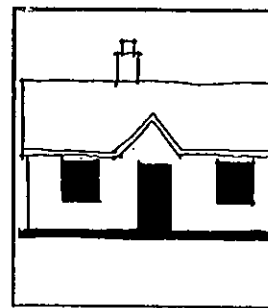
In addition to the above problems related to built form, there were other miscellaneous problems identified by existing renovations and remodelling along Brant Avenue. These are as follows:

12. *Windows*

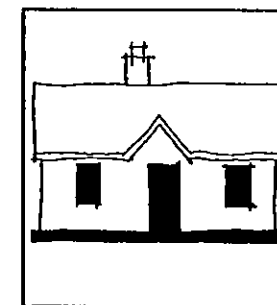
During the major period of construction along Brant Avenue, the window type used was a double-hung style. The appearance of a double-hung cannot be achieved by casement or other window types. Traditionally, windows were taller than wide, and the sub-divided glass sections were also taller in proportion to their width.

*Recommendation:*

*Replacement windows should be similar in style, and glazing proportions should be taller than wide.*



TOO SQUARE



PLEASING

### **5.1.2 URBAN DESIGN GUIDELINES**

#### **Introduction**

This section will address specific urban design guidelines for Site Plan approval of new development projects along Brant Avenue. The guidelines would also be used by the Brantford Heritage Committee or an Architectural Review Sub-Committee to assist them in their assessment of all new development on Brant Avenue.

The range of design strategies will entail upgrading the streetscape fabric from the perspective of the overall block structure, and also from the particular infill situation where a building is to be designed within an existing framework. The essential methods of this analysis are based on several fundamental aspects of architectural design, such as: *scale, proportion, rhythm, and context.*

#### *Recommendation:*

*Any Infill or renovation scheme on Brant Avenue must address the following guidelines, and act to resolve any formal conflicts which presently exist, while fulfilling its own design criteria.*

#### **Context**

#### *Recommendation:*

*Any Infill or renovation scheme must involve consideration of buildings beyond the sites boundaries.*

A streetscape evokes a sense of rhythm and pattern. The immediate context consists of a site's adjacent neighbours. Architectural "clues" can be extracted and elaborated upon for the design of an infill redevelopment project, or for a renovation/addition. A thorough evaluation of existing site conditions should include: *building heights, nature of materials used, details, colours, scale, proportion, and fenestration.*

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**Rhythm**

Any infill or renovation scheme on Brant Avenue should continue the streetscape rhythm through various aspects of its structure or shape, and placement of its openings.

In establishing a new symmetry and balance within a selected area of the streetscape, the renovation or infill should strengthen patterns presently existing.

**Building Heights**

The original historic fabric of Brant Avenue was low-density residential.

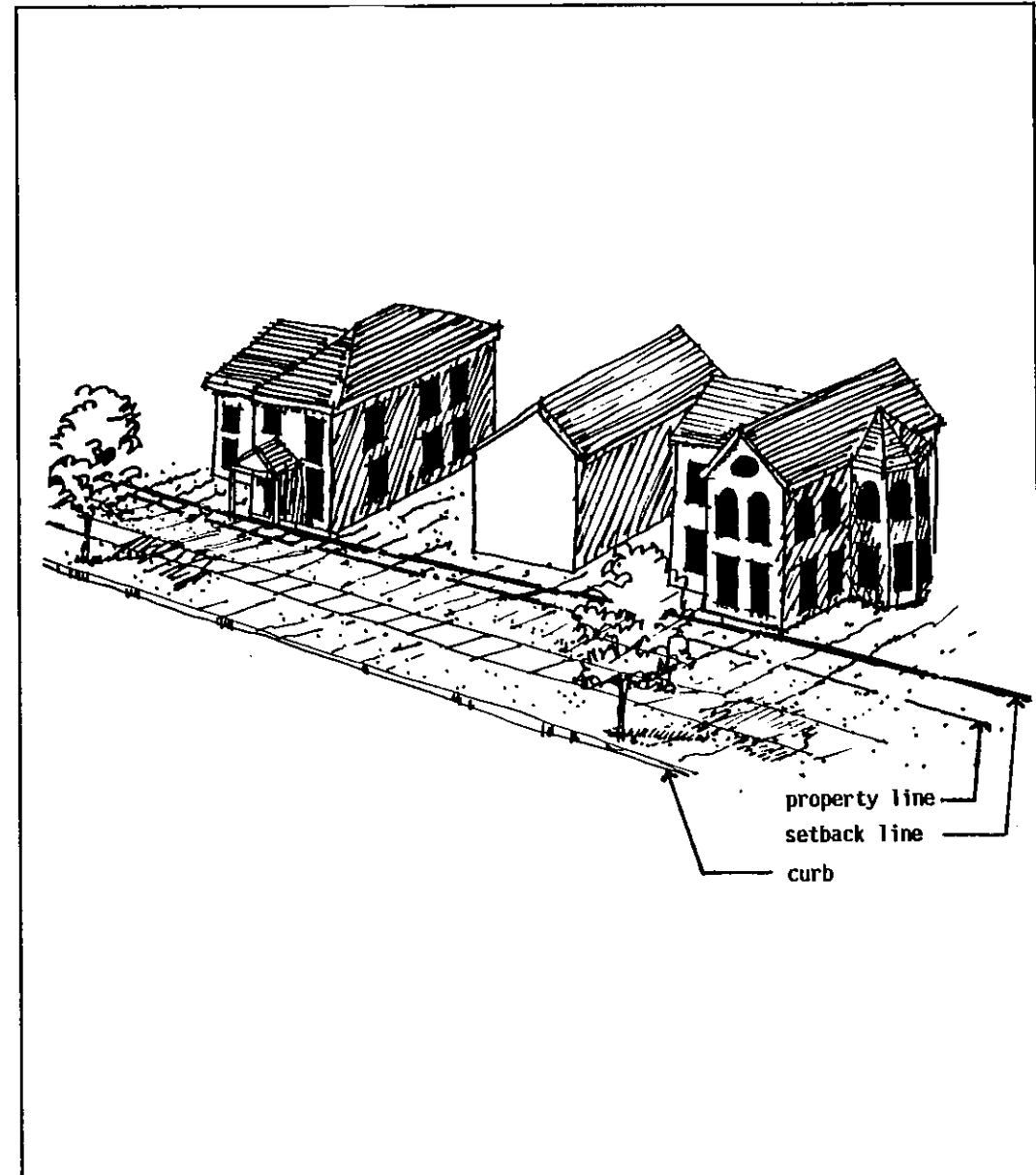
*Recommendations:*

*No new infill building or addition should exceed 3 storeys or 15 metres.*

New buildings and additions should be constructed to a height within 10% of the average height of existing adjacent buildings, when the new building is of an equal number of storeys. For example, a two-storey commercial infill building should be equal to + 10% of the height of the adjacent two-storey residential or commercial building.

**Building Line**

No building or structure should be permitted between the street and the building line drawn between the most forward points of the flanking buildings. The intent of this recommendation is to avoid major additions and new infill development projecting forward towards the street a greater extent than adjacent properties.



BUILDING LINE AND SCALE

**Scale**

*Recommendation:*

*Any infill or renovation project on Brant Avenue should be scaled by architectural detail so as to relate to pedestrians.*

Scale is determined by building mass and how it relates to open space. Predominant elements of scale used by individual buildings along Brant Avenue are: brick or stone quoins, window or door openings, balconies, bargeboard, cornice moulding, belt courses, entrance porches, cresting, and window and door labels.

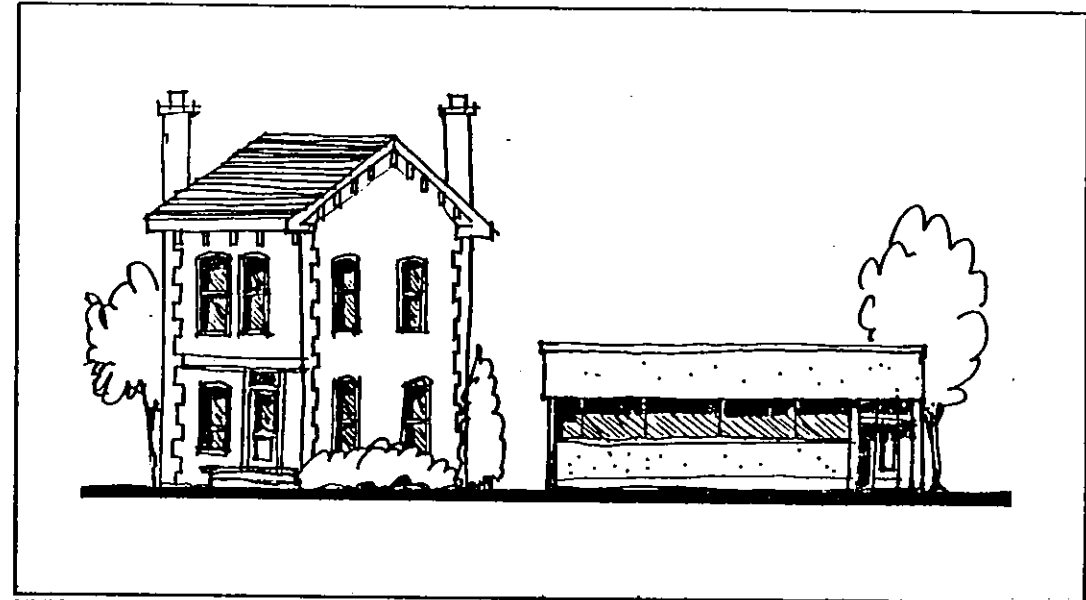
**Proportion**

*Recommendation:*

*Any infill or renovation project on Brant Avenue should, where possible, maintain the verticality established by the majority of traditional structures.*

In instances where new infill development has been horizontal in nature, i.e., the mini-plaza at Church and Brant, or the one-storey clinic building at St. James and Brant, the rhythm, scale, and proportion of the streetscape has been altered. The building appears incompatible with the surrounding building fabric.

The proportion of the front facade is the relationship between the width and height of the building. The proportion of openings is the relationship to the width and height of the windows and doors. Traditional architectural styles that dominate Brant Avenue all have a verticality in which the height exceeds the width of openings and of the building mass.



EXISTING VERTICAL FABRIC

HORIZONTAL INFILL



EXISTING FABRIC

NEW INFILL OFFICE

### Materials

*Recommendation:*

*Traditional building materials should be used for new construction and renovation.*

The predominant building materials for new envelopes should be: *brick, stucco, horizontal narrow profile wood siding, painted wood, and stone*. Materials which are inappropriate are: *pre-cast concrete, glass curtain wall, formed concrete, aluminum siding and metal cladding*. Recommended roofing materials include: *asphalt shingle, wood shingle or shakes, pre-finished metal, copper and slate*.

### Architectural Details

*Recommendation:*

*Any infill or renovation project on Brant Avenue should employ traditional architectural details.*

Traditional architectural details may include: *cornices, trim, mouldings, window and door labels, arches, quoins, balustrades, cresting, and chimneys*.

Several of the materials which have been designated as inappropriate may be used as minor components on building facades, i.e., pre-finished metal and aluminum. Only small surface areas and details should be treated with pre-cast concrete or curtain wall construction.

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### Colour

The predominant colour of a building may be that of a natural material, such as brick, or a painted one. An older building attains a patina coloured by time. Colours should be used to accentuate architectural details or to blend colours of detail and trim with larger surface areas. Earth tones are appropriate for heritage and contemporary buildings. The Martin Seymour or Pratt & Lambert "Williamsburg" series may be utilized as a resource in the selection of appropriate paint colours. This series contains a range of 35 traditional colours that are readily available to building owners.

*Recommendation:*

*Any new infill or renovation project should use traditional colours which are typical to the period and design of the buildings along Brant Avenue.*

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**Fenestration**

Window openings are perhaps the most frequently abused design element in both renovations and new infill development. There are scattered examples along Brant Avenue where unsympathetic renovations or additions have occurred. The major fault in the design of these projects was the design of the fenestration.

*Recommendations:*

*New fenestration should be sympathetic with the scale and rhythm of neighbouring building or the existing building.*

*Windows should give an accurate indication of floor levels within the building envelope.*

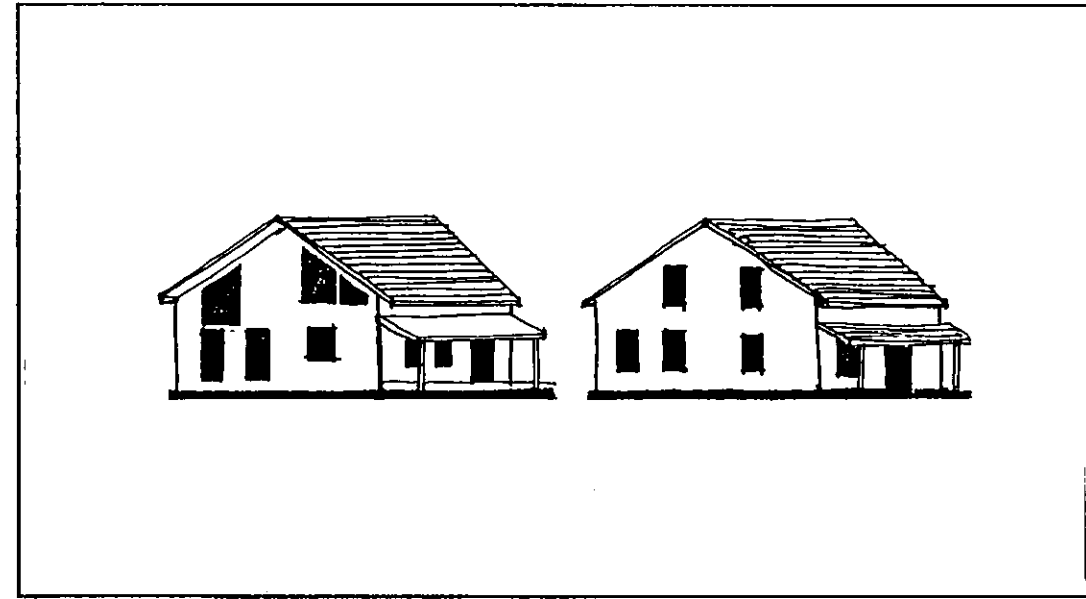
*Window mullions should be functional, and not decorative.*

*Shutters should be historically accurate and preferably functional, or at least give the appearance of being able to adequately cover the window area when closed. Shutters should also be shaped to correspond with the adjacent window that is to be covered.*

*Existing lintel and sill condition on renovated buildings should be retained and respected.*

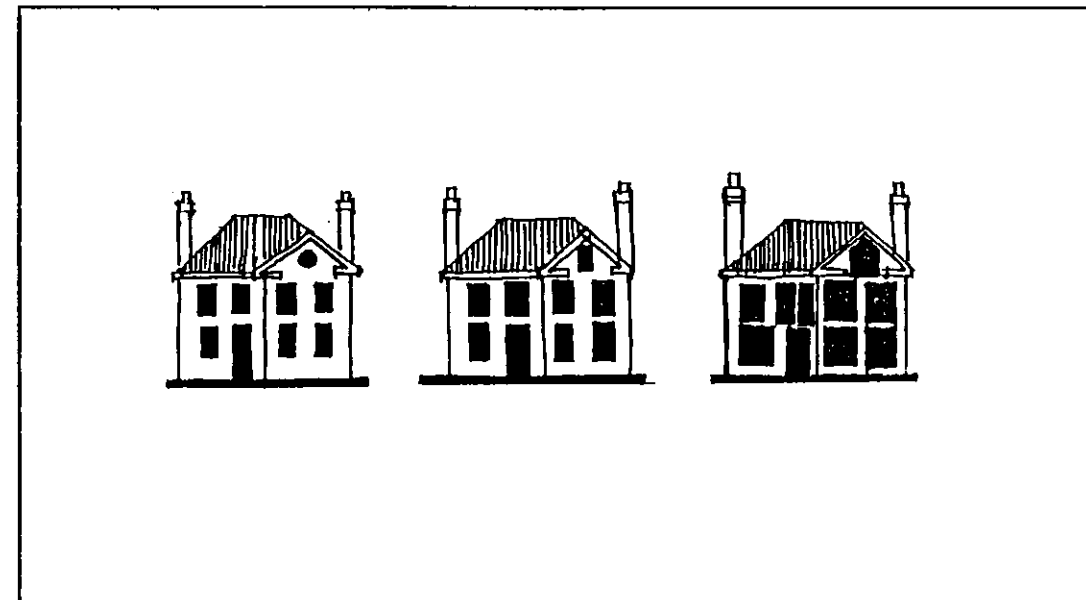
*The addition of shading devices, such as canopies and awnings, should be designed so they do not conflict with the overall style of the building. Their design should respect the traditional forms and methods.*

*Windows of the buildings of the 1870's to 1890's consisted of single punched openings. Windows in series were used only as part of special facade features, i.e., bay window and paladian window.*



CHAOTIC

MORE HARMONIOUS



20% (15-20% HISTORICALLY) 33% (LG. GLASS AREA) 50% (EXCESS)

**Building Edges**

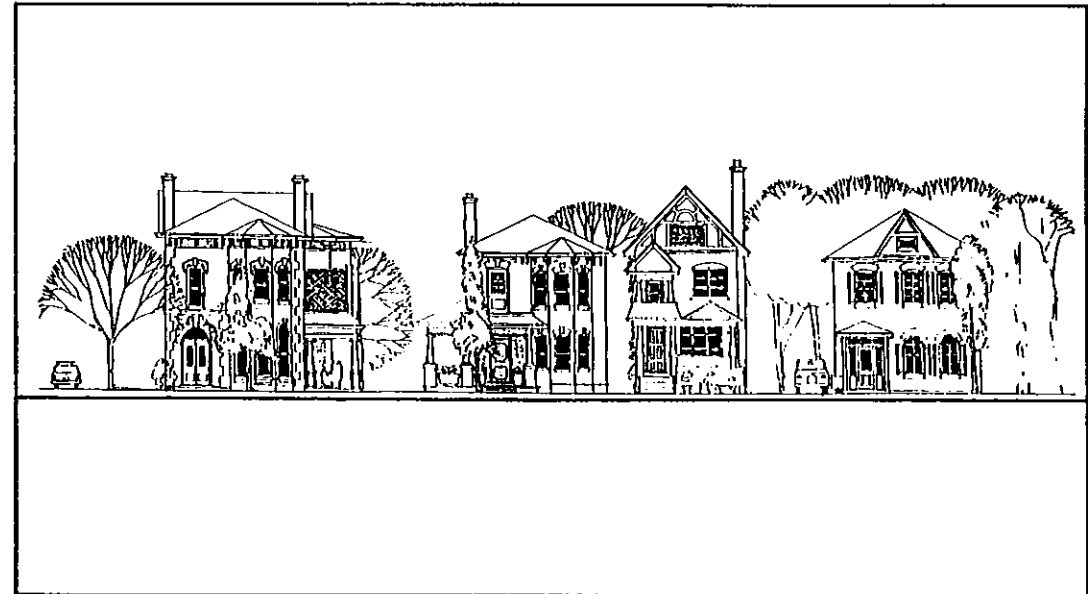
Several of the heritage buildings along Brant Avenue have been stripped of ornamentation, or have had architectural details concealed by the application of new veneers. In some cases, these architectural details are retained but are "covered over" by painting. The removal of these details frequently softens the building edge. A building interacts with its environment and adjacent context along critical edges. These edges are defined by the *ground plane, vertical walls, and the skyline.*

**Ground Plane**

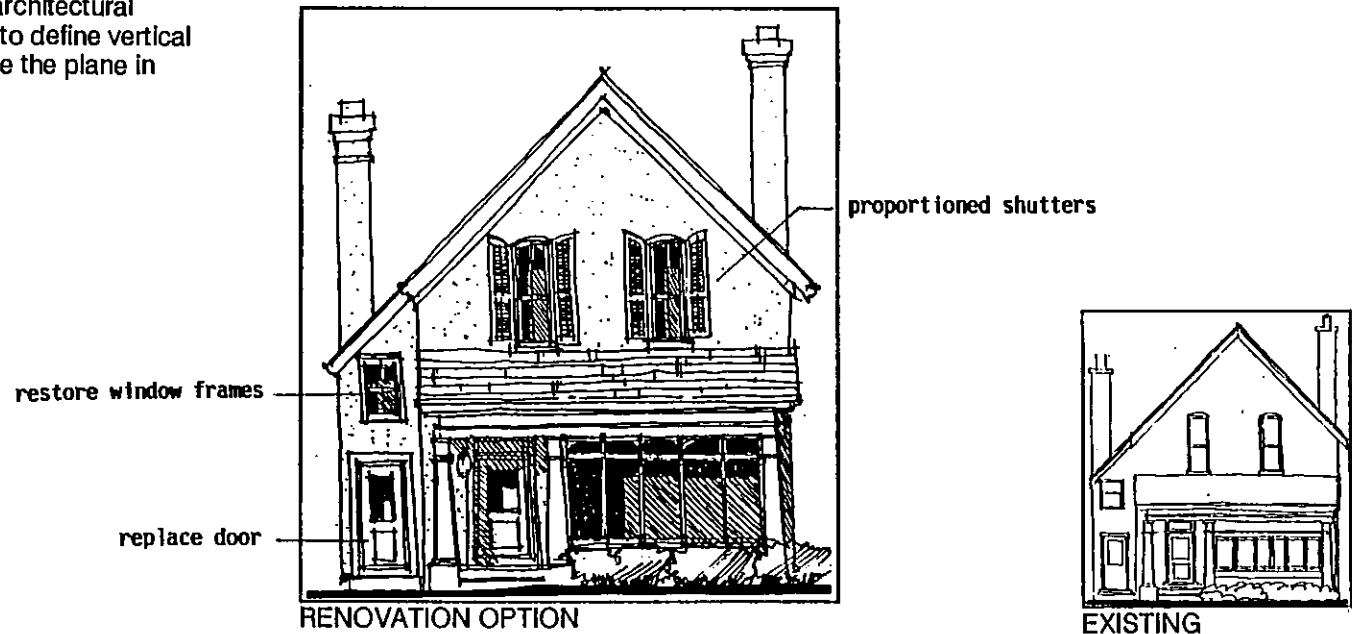
Traditionally, architectural styles along Brant Avenue define ground plane and ground floor by articulating these as the building base. Upper floors appear to be supported by the ground floor. This logical hierarchy seems simple to understand, however, there are examples where renovations have contradicted this time-old balance. One example is the fully glazed building front which conceals any structural support of the second floor, or where the location of a new window opening where logically there would have been bearing wall or structural support previously.

**Vertical Planes**

Renovations and additions should retain and respect the traditional use of architectural details, such as: quoining, brick patterning, cornice lines, and corner trims to define vertical edges of buildings. These vertical planes help contain the facade and define the plane in which the various architectural elements are composed.



GROUND PLANE



RENOVATION OPTION

EXISTING

**Roofs**

Roofs may assume different shapes or combinations, such as: pitched, mansard, hipped or flat. The roof forms define the building profile and establish a skyline. Brant Avenue's heritage buildings provide a lively detailed and interesting skyline, which should be maintained and complimented by sympathetic renovation and new infill development.

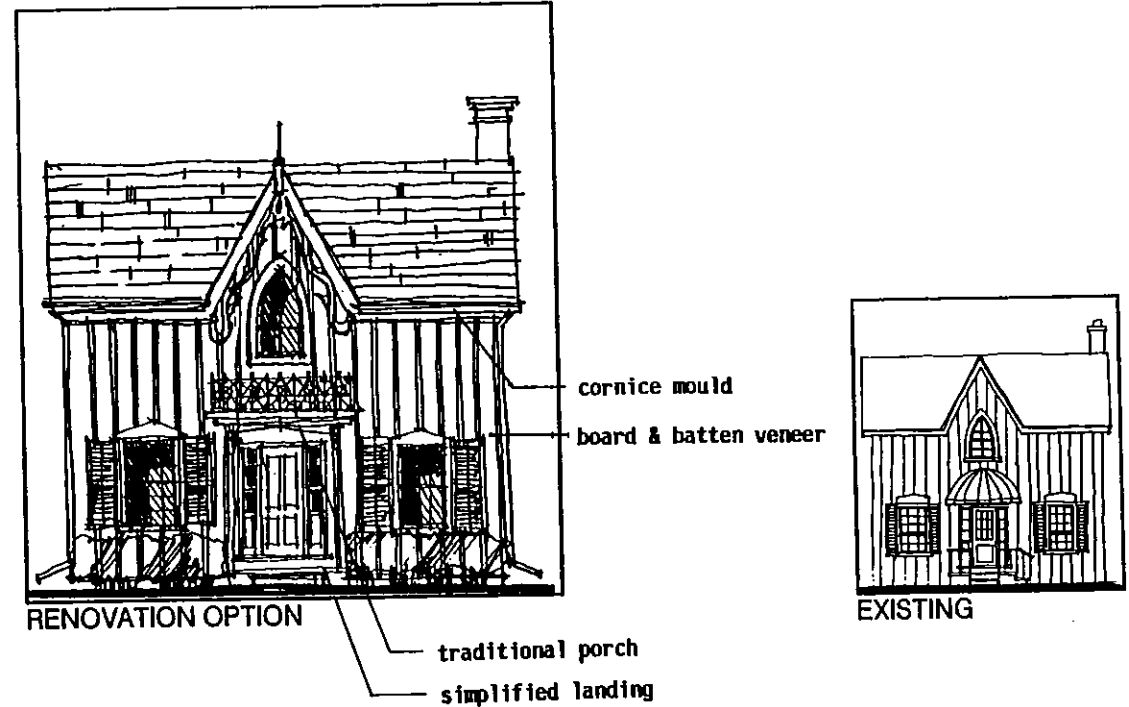
*Recommendations:*

*Any addition or infill project should be enclosed, preferably, by a pitched roof.*

*The roof profile of an addition should not exceed the height of the original building.*

Dormers may be used to achieve a lower eave line, or they may be incorporated to harmonize with other buildings in the general proximity. Flat roofs are generally not recommended. However, existing flat roofs may be articulated to compliment existing roof lines by various design devices, such as brick corbelling, cornices, mouldings, parapets, cresting, and ballustrades.

The guidelines established by this study, and controls provided through Heritage District designation, should generate practical and sympathetic renovation, restoration, and infill of Brant Avenue. The pay back to the community will be in social, cultural, and educational benefits. Lastly, there will also be financial reward to the community and to the developer by the enhancement of property values and increased business activity.



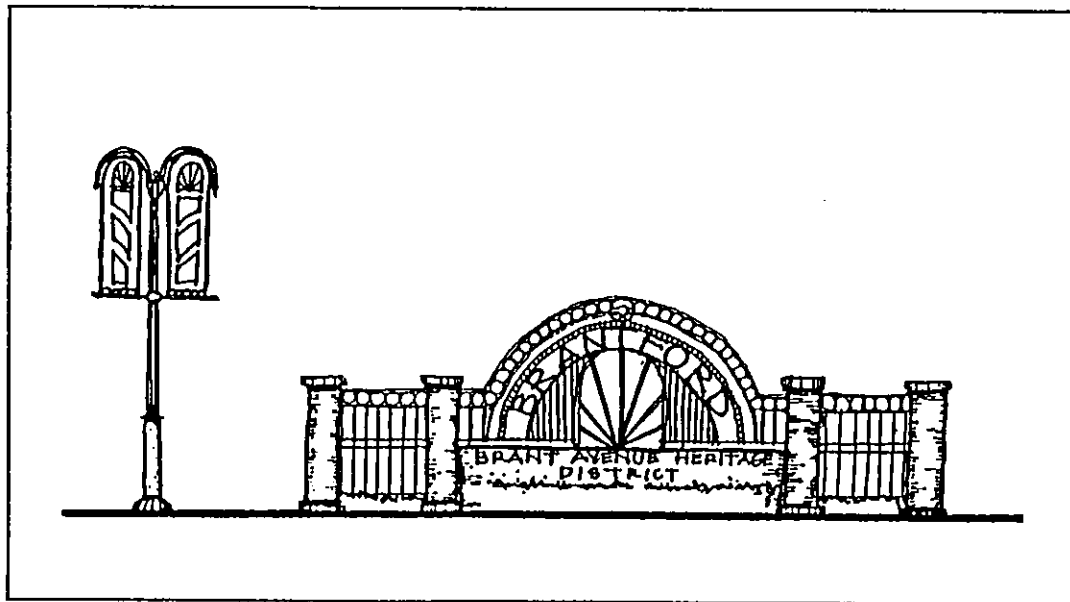
**5.2 OPEN SPACE RECOMMENDATIONS**

The following Open Space recommendations are based on a policy of reinforcing Brant Avenue's role as an important entranceway to the Downtown. The recommendations enhance the existing special character of the street, which has been established in large part by the historic buildings and the broad front lawns, which form the ideal setting for many of these fine homes and institutions. The recommendations should be read in concert with the "Heritage District Master Plan" appended to the report.

The intent of public and private improvements undertaken should be to reinforce the historic character of the street by sympathetic plant selection and landscape design. Major deviation from the original fabric is unwarranted, and would be detrimental to creating a cohesive streetscape.

**1. Entry and Identity:**

Strengthen the sense of entry to Brantford, and identify the Brant Avenue Heritage District by signage and feature landscaping at selective locations.



ENTRY FEATURES

**2. Street and Traffic Signage:**

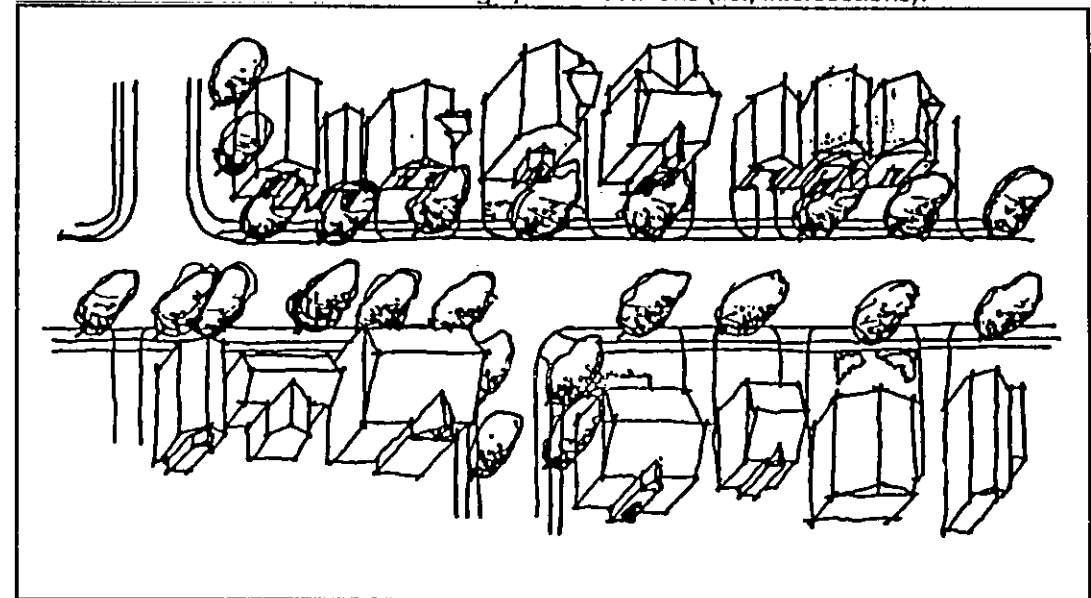
To promote a co-ordinated identity of the public boulevard supportive of the heritage character of the area, special street and traffic signage should be considered. Street signage, for example, might incorporate a logo or similar designation on each sign module identifying the heritage district. Non-standard colours and materials for street poles and signs would be more compatible with the heritage buildings, and would assist in making the area a distinctive part of Brantford.

**3. Views/Vistas:**

Brant Avenue does not have one distinctive vista which characterizes the street. The composite image of the heritage buildings is the most memorable features. In this light, views from the street of landmark heritage buildings should be maintained by discouraging solid fences or high hedges along the streetline.

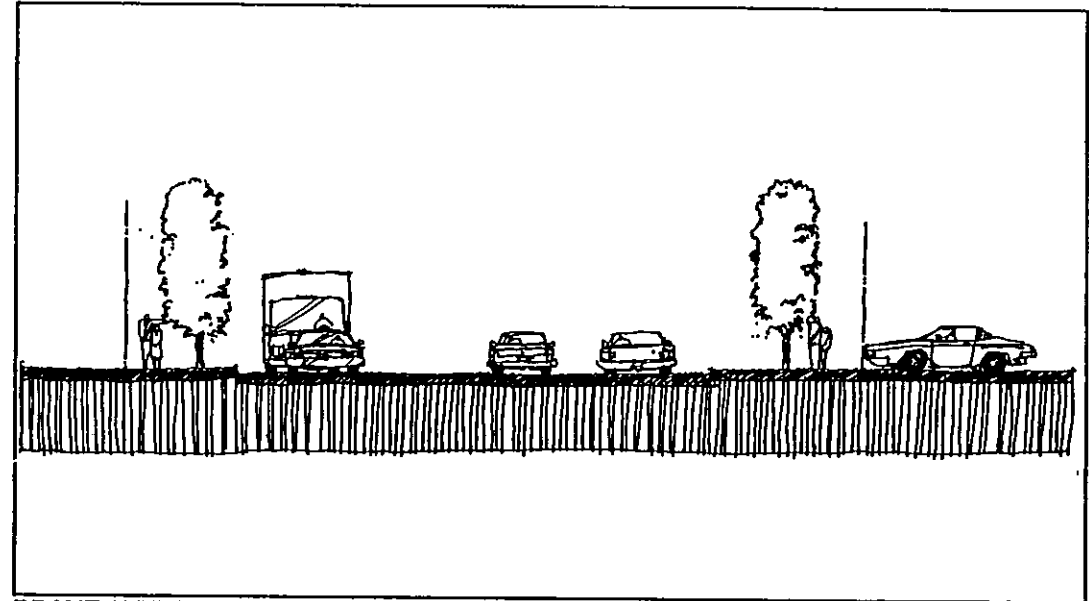
**4. Tree Planting:**

Promote a formal landscape character by regimented tree planting along the street, with manicured lawn areas extending from sidewalk to building wall. Provide a limited range of tree species within the public boulevard, complemented by greater variety in colour, form and species in front yard areas of individual properties. Feature landscape pockets of colourful annuals to be considered at high profile locations (i.e., intersections).

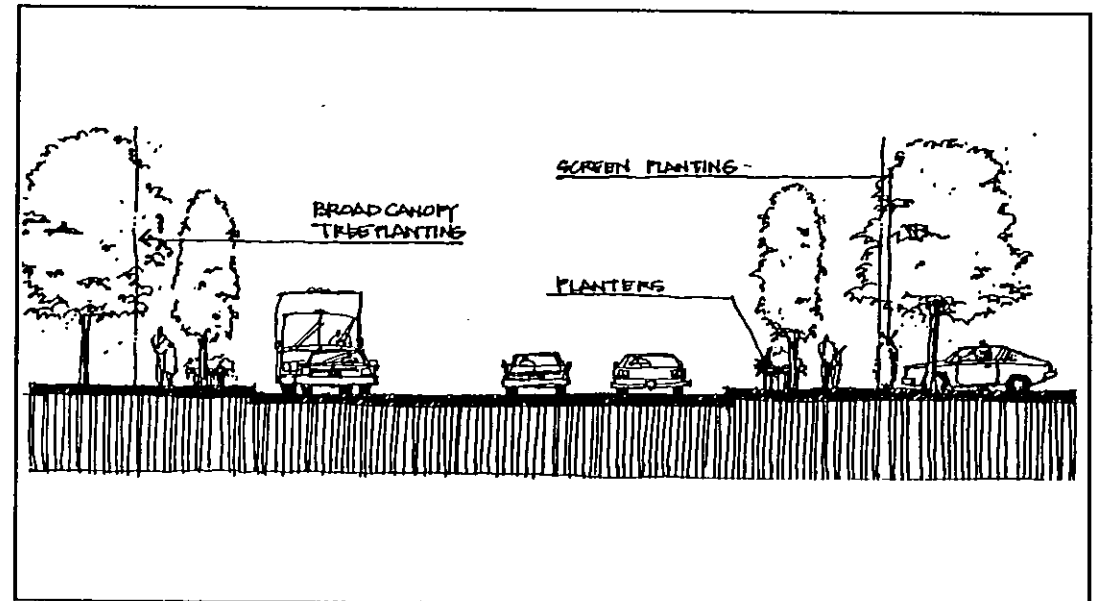


REGIMENTED TREE PLANTING

Promote the development of a broad tree canopy above the public sidewalks consistent with the historical image of Main Street, Ontario. Promote, in general, the use of sympathetic or historically accurate plant materials. Given the limited width of public boulevard available for planting along Brant Avenue, broad canopy trees will most suitably be located on private land adjacent to the sidewalk. In this regard, the Municipality may consider a program to fund tree planting in frontyards abutting Brant Avenue. Provide for immediate regeneration of tree planting on public boulevards where mature trees have been lost or are in poor health.



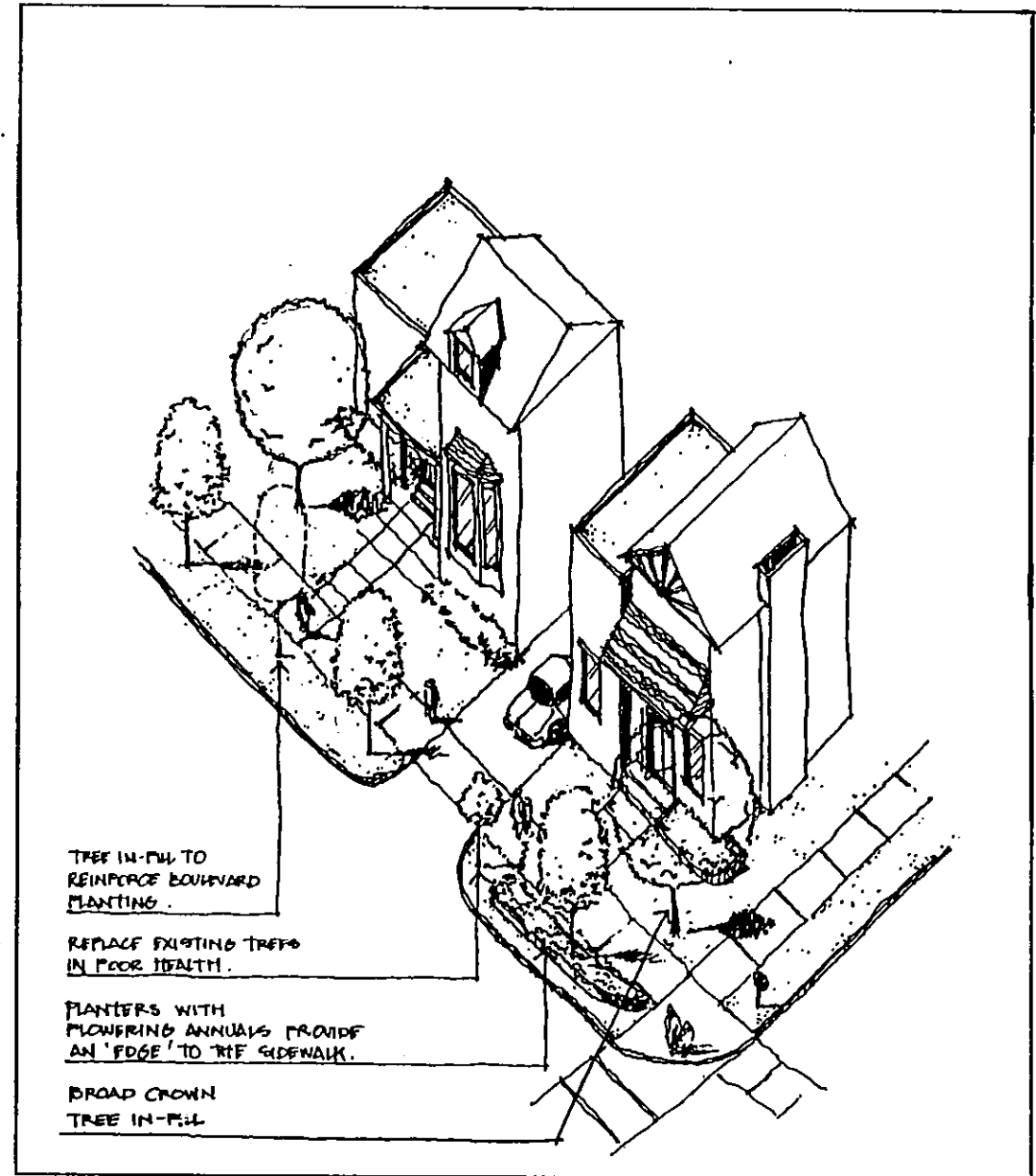
BRANT AVENUE CROSS SECTION - EXISTING



BRANT AVENUE CROSS SECTION - PROPOSED

5. Edge Definition:

Promote edge definition of public sidewalk to separate sidewalk from traffic on Brant Avenue. Use of feature planters at high profile locations (i.e., intersections) might be considered.



CONSISTENT BOULEVARD PLANTING

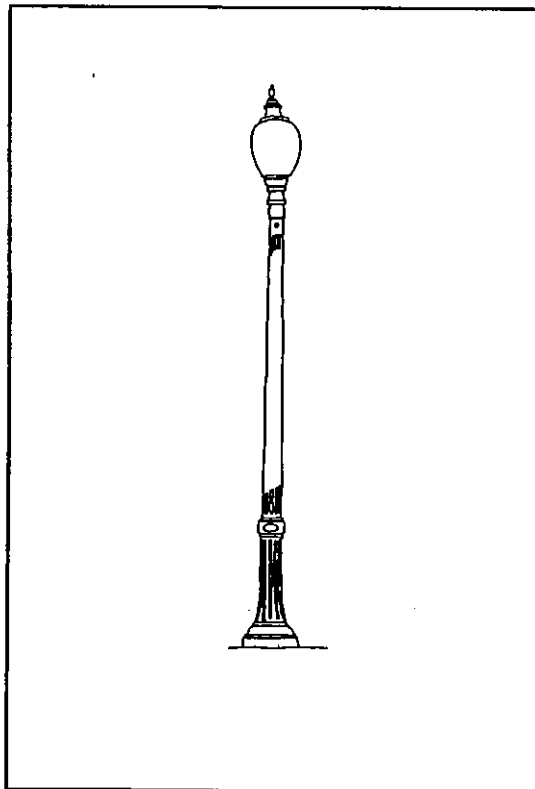
6. Decorative Features:

Promote consistent identity of Brant Avenue by use of decorative sidewalk paving, special light fixtures, flood lighting of landscaping and buildings, and consistent signage.

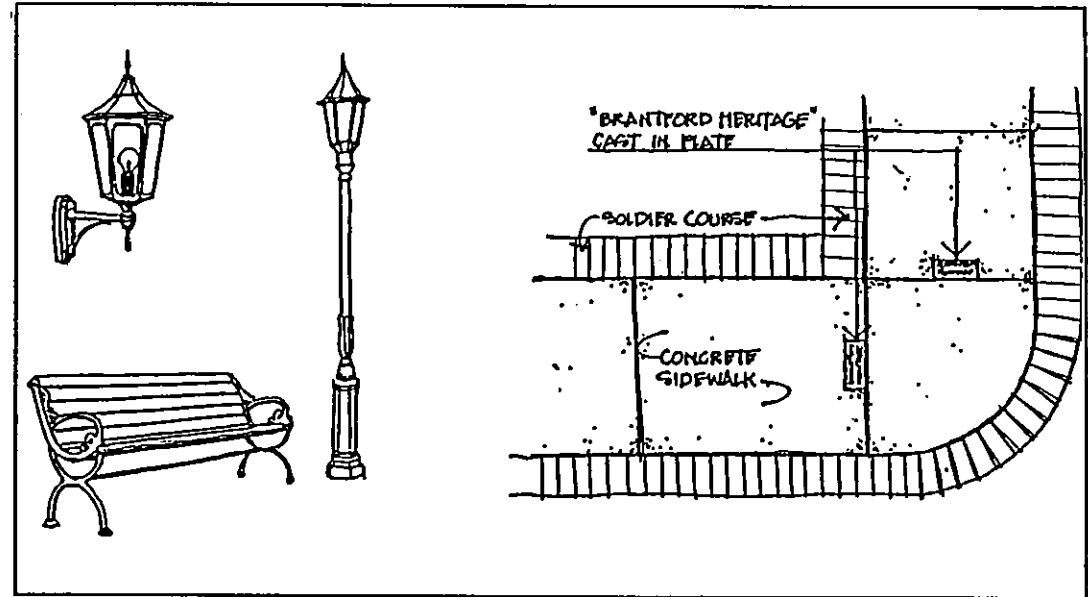
7. Street Fencing:

The presence of different fences and walls provides detail interest to the overall streetscape, and identifies rights-of-way from private land.

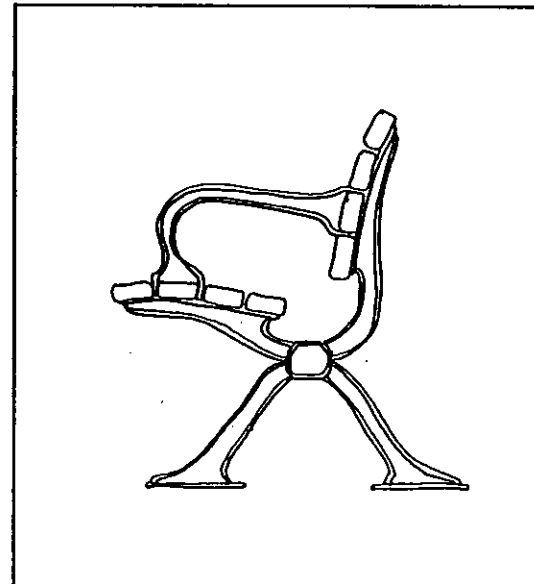
Fences and walls to be built in the study area should be of materials sympathetic to the scale and character of the area. The following range of materials is appropriate: brick, natural stone, wood, and cast or wrought iron. As noted previously, solid fences along the streetline should be avoided to allow views of heritage buildings from the public road and sidewalk. The fence style should complement the character of the area and the immediate adjoining properties.



LIGHTING - MOLDCAST - LUMINAIRE NO.  
5100



DECORATIVE PAVING/LIGHTING



SEATING - CITY STYLE BENCH - C.S. 101  
- ARM



8. Parking:

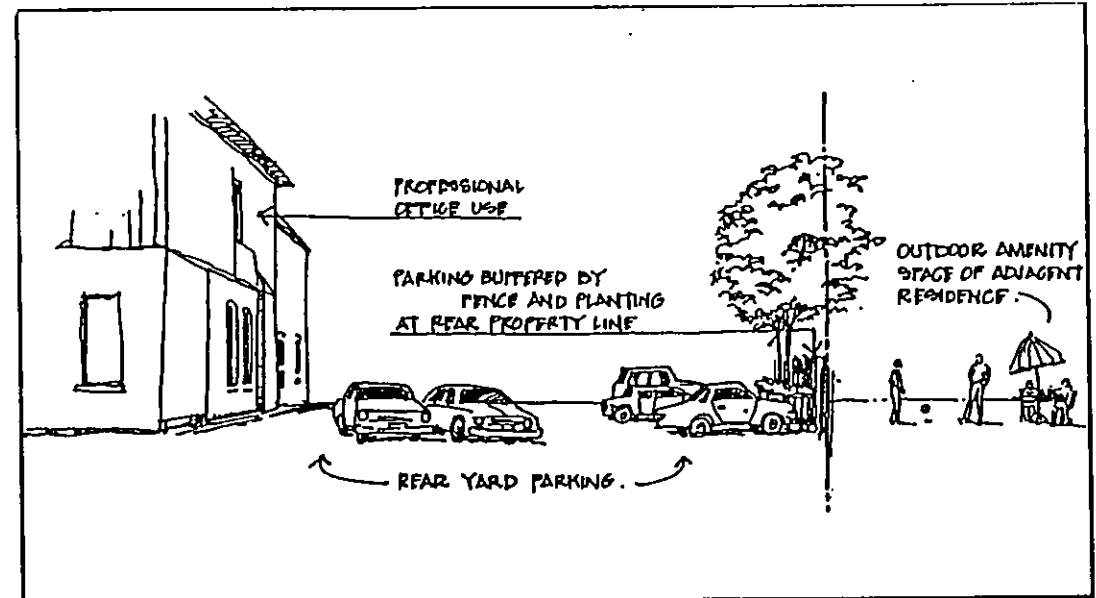
Prohibit front and side yard parking along Brant Avenue and intersecting streets. Where front yard parking currently extends to the streetline, provide for landscape buffer next to the sidewalk.

Rear yard parking adjacent to residential uses to be buffered by landscaping and solid fence minimum 1.8 m high. Parking lot lighting to be directed away from residential use.

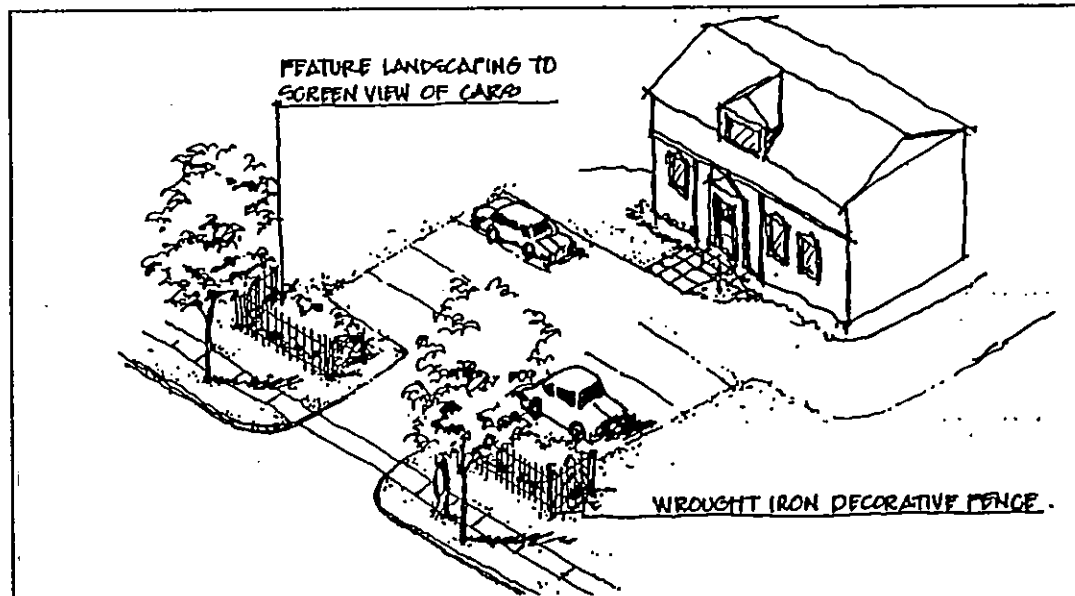
9. Public Improvements:

To be concentrated initially at intersections, followed by mid-block locations.

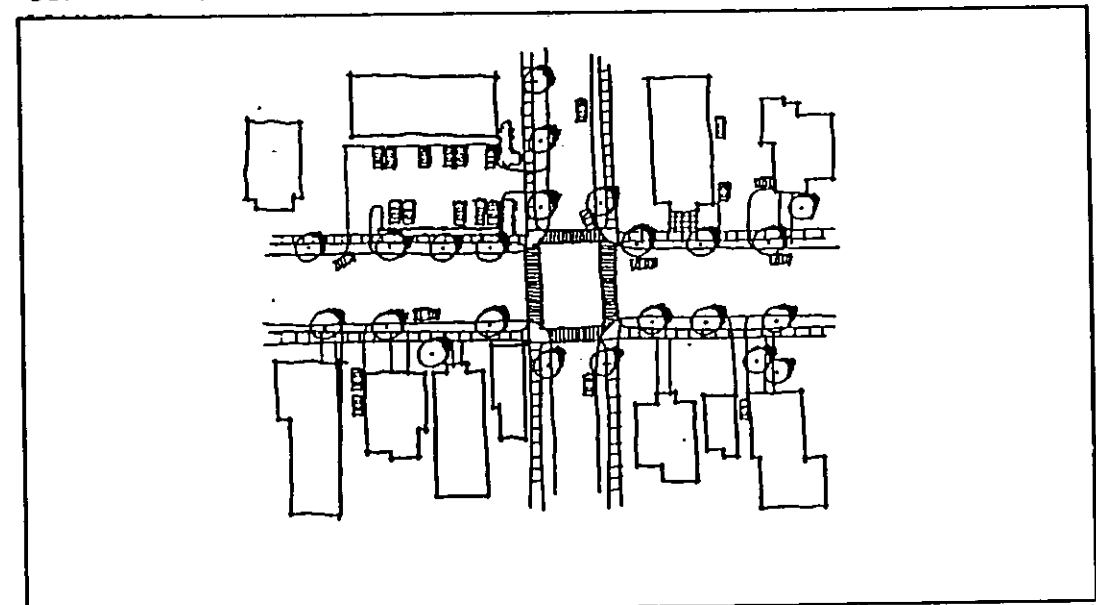
Pedestrian crossings at intersections to be identified by feature paving.



COMMERCIAL/RESIDENTIAL INTERFACE



UPGRADING OF EXISTING FRONT YARD PARKING



PEDESTRIAN CROSSINGS

**5.3 SIGNAGE**

**INTRODUCTION**

The relationship between the scale of Brant Avenue to the existing buildings and their recommended usage provides some distinct opportunities for signage to support a heritage approach.

Signage serves two primary functions. First, it identifies the activities and/or services contained within a building or provides drivers and pedestrians with directional safety or instructional information. Second, after signage related to buildings has served its identification function, it should be visually harmonious with the architectural style of the street. At this second level the sign serves primarily as a piece of "street furniture" or "environmental graphic" which can embellish and enrich the visual character of the surrounding area.

**EXISTING BY-LAWS ON SIGNAGE**

The existing zoning by-laws for signage (Single Family, Multi-Family, Local Business and Recreational) focus primarily on usage and size of the signs. No overall changes are required for this study in existing by-laws to enact the signage recommendations.

Historically it is difficult to legislate changes which affect colour selection, typographic styles lighting and specific types or style of sign. Nevertheless, it is appropriate to identify general concerns and establish signage guidelines which are relevant to supporting a heritage theme.

**GUIDELINES FOR ELEMENTS OF ALL SIGNAGE**

The following guidelines should be encouraged for all future signage in the Brant Avenue area. The guidelines should not be viewed as restrictive but rather a definition of the range of all the design elements that will make up the "palette" for heritage oriented signage.

**1. Typography**

Aside from size and style of sign, typography and colour are the most important visual components to reinforce the heritage theme. It is necessary to offer a wide (yet appropriate) range of typefaces in order to establish a "family" look rather than an identical look.

It is also important to stress the usage of the range contained within each typeface (bold, condensed, italic, etc.). The following twelve typefaces are recommended for both their appropriateness to the heritage theme and their availability:

<b>Garmond</b>	<b>Ea1</b>	<b>Bodinic</b>	<b>Ea1</b>	<b>Franklin Gothic</b>	<b>Ea1</b>
<b>Baskerville</b>	<b>Ea1</b>	<b>Caslon</b>	<b>Ea1</b>	<b>Modern</b>	<b>Ea1</b>
<b>Century</b>	<b>Ea1</b>	<b>Futura</b>	<b>Ea1</b>	<b>Palatino</b>	<b>Ea1</b>
<b>Goudy Old Style</b>	<b>Ea1</b>	<b>Gill Sans</b>	<b>Ea1</b>	<b>Rockwell</b>	<b>Ea1</b>

**2. Colour**

Colours which are toned down and more subdued (ie..Laura Ashley in tone and hue) are more sympathetic to the heritage theme and should be encouraged. Conversely, bright or "tube" colours (ie.. colour from the basic 16 colour set of crayons) should be discouraged.

### 3. Lighting

Ambient, overhead, period-style, gooseneck or low key spot lighting should be encouraged for exterior signage. Internally, lighted signs using fluorescent tubes should not be encouraged except in those situations where business is conducted primarily in the evening. Neon and flashing signs should be discouraged.

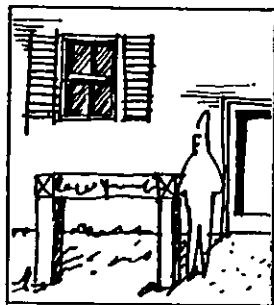
### 4. Materials

Materials that should be encouraged include wood (painted, carved or cut out letters) and metal (porcelain coated, photo or line etched, engraved or brass letters). Plastic signs should not be encouraged.

#### ON-PREMISE SIGNAGE

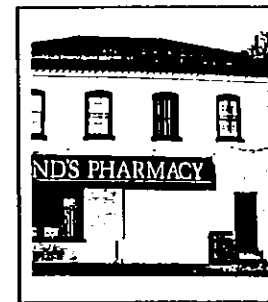
On premise signage is the single most important signage element which can be utilized to reinforce the heritage theme. It is important to remember that for the information/identification function of design to be successful for the large majority of Brant Avenue, businesses, it must work only the first time the user has a need for it. After that first time usage, the user will know where the service or business is and signage takes on a different need and importance in the overall streetscape.

If there is no visual unity or "family" look between the signage, visual "noise" is quite often created which will hamper and impede the establishment of a heritage theme.



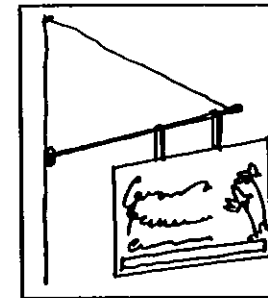
#### Post Signs

Post-signage (2 posts), should be used wherever possible to identify the activities contained within a building. This type of signage is also well suited to the scale of Brant Avenue and vehicular traffic. A range of setbacks should be established to provide some variety and reflect the different lot sizes.



#### Facia Signage

Facia signage will become the primary signage when space does not adequately allow for post signs. Facia signage should not exceed placement above the first story of a building. Placement on the sides of buildings should be encouraged to co-ordinate with the horizontal functional aspects of the post signs.



#### Overhead Signs

Overhead craft signs should not be encouraged as a primary source of signage as they introduce a new set of sightlines and a different scale for drivers.

Historically, this type of sign is appropriate, but is more relevant for pedestrian-oriented traffic where buildings are fairly close together.

#### UNIQUE VISUAL IDENTITY FOR BRANT AVENUE

It is not unusual nowadays for Municipal governments to create a visual identity to unify and promote certain activities or themes within designated boundaries. For example, historic, ethnic, or commercial areas may often utilize a unique logo, typography, specific colours to identify their area more strongly. These components often find their way into on-premise signs, public signage, streetsigns, environmental graphics, and publications.

The following is a list of recommendations that should be implemented to support signage and graphics on a secondary level to reinforce the heritage theme:

1. Brantford should develop a distinct logo for the Brant Avenue area which will become the key component of a Visual Identity Program. This logo should incorporate images, colour and typography which reflect the heritage theme.

2. *Historical identification of all buildings should be considered to create pedestrian interest in the area. All landmark buildings should be identified by a plaque which gives a brief history of the building (date constructed, owners, varied usage, etc.) and incorporate the Brant Avenue historic logo. All other buildings should be identified by a plaque designating it as a Brant Avenue Heritage Property.*
3. *Streetsigns can be redesigned to include the logo and have a historical appearance.*
4. *Street banners and environmental graphics provide Brantford with an opportunity to add specialized, seasonal and variable visual embellishments to the streetscape. These graphics generally refer to two-dimensional artwork (of either a permanent or replaceable nature), which is incorporated into either the architecture and/or environment. For example, banners, murals, bus shelters, construction fencing, etc., all provide additional opportunities which should be considered for extending the heritage theme visually into the Brant Avenue area.*

**PUBLIC/DIRECTIONAL/INFORMATIONAL SIGNAGE**

*Parking, directional and public information signage should continue to use the standards (for symbols, arrows, etc.) already approved by the Province.*

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#### 5.4 Traffic and Circulation

##### Background

The volume of traffic and the related congestion on Brant Avenue has been of considerable concern to owners and residents, as well as the City of Brantford Engineering Department and Public Utilities Commission.

The City of Brantford provided traffic volumes for Brant Avenue between Colborne and Dalhousie Streets for February, 1984. The City also provided cycle and green time information for the signal at Brant Avenue and Dalhousie Street.

Based on the above information, it is observed that:

:north bound peak hour volumes would have experienced a level of service "C", assuming 2 lanes were available; or a level of service "F", assuming only one lane was available to parking in the outside lane.

:south bound peak hour volumes would have experienced a level of service "E", assuming 2 lanes were available; or a level of service "F", assuming only 1 lane was available due to parking in the outside lane.

These interpretations are based on the February 1984 volumes, and are only valid for Brant Avenue at Dalhousie Street. Traffic data would be required for the balance of Brant Avenue to determine levels of service for other locations.

These interpretations do not take the effect of transit buses into account. Transit buses with frequent stops would likely lower the level of service.

In urban areas, the level of service:

"C" is desirable;

"D" is acceptable;

"E" may be acceptable for short periods within the peak hour;

"F" is forced flow and total congestion.

Physical and topographical additions which have shaped the road patterns of Brantford do not make solutions readily available.

Terms of reference of this study do not provide the opportunity to adequately assess the full extent of the traffic problem, and to determine appropriate engineering solutions

##### **Recommendation:**

*The City of Brantford undertake a detailed engineering study to determine solutions to the existing traffic congestion along Brant Avenue. In particular, the study should address both medium- and long-term solutions.*

In the short-term, the removal of on-street parking is not feasible due to the detrimental effects on Brant Avenue businesses. In addition, there are no alternate short-term solutions which would change Brant Avenue's current function as a truck route and major transportation link.

The congestion along Brant Avenue has resulted in the re-routing of Brantford transit southbound onto other streets. Route 6, King George Road; Route 8, Mayfair; and the Paris bus travel along Brant Avenue northbound; however, Routes 6 and 8 return along William Street, and the Paris bus returns along Terrace Hill.

There have been problems of traffic congestion along the entire length of Brant Avenue, which has resulted in various restrictions placed on parking along Brant Avenue. Restricted zones include: parking prohibited between 2 a.m. and 6 a.m.; parking prohibited at any time; parking prohibited during certain times; parking restricted to a certain time limit. The success of any parking restrictions along Brant Avenue are dependent upon enforcement. The success of the restrictions can be severely hampered if, in fact, motorists violate these restrictions. It requires only one or two vehicles who are illegally parked to prevent the proper flow of traffic along Brant Avenue.

##### **Recommendation:**

*A significant improvement in traffic flow during rush hour could be achieved in the short-term by consistent and effective enforcement of current parking restrictions. A review should be undertaken to assess the effectiveness of current fines and procedures in deterring local users from violating these regulations.*

Increased fines and towing vehicles may indicate most effectively the Municipality's concern for and commitment to keeping traffic flowing during peak periods.

A satisfactory balance should be struck between the interests of public safety and movement of traffic, and the viability of business operations along Brant Avenue which are contingent upon adequate parking.

##### **Recommendation:**

*The development of additional retail/commercial uses, and specifically restaurant use, which generate the greatest parking requirement, should be restricted along Brant Avenue. Because of the scattered and linear nature of retail development along Brant Avenue, the introduction of municipal parking lots would not be as efficient as in other commercial areas. The intensity of activity and the long distance that would be required between the parking lot and the destination would not attract public use.*

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**5.5 PARKING**

Many business along Brant Avenue have been able to accommodate much of their parking requirement by locating parking areas at the rear of existing buildings. Over 30 properties provide a rear parking with a total capacity of approximately 300 spaces. This solution has generally proven satisfactory, although there remains a need for improvements in landscape approach, organization and identification of the lots.

**1. Landscape Approach:**

Where rear yard parking is provided, the privacy of adjacent residential yards should be maintained by providing a 1.8 metre high screen fence and planting along the common property line. Parking lot lighting and any illuminated signage should also be directed away from residential use.

**2. Organization:**

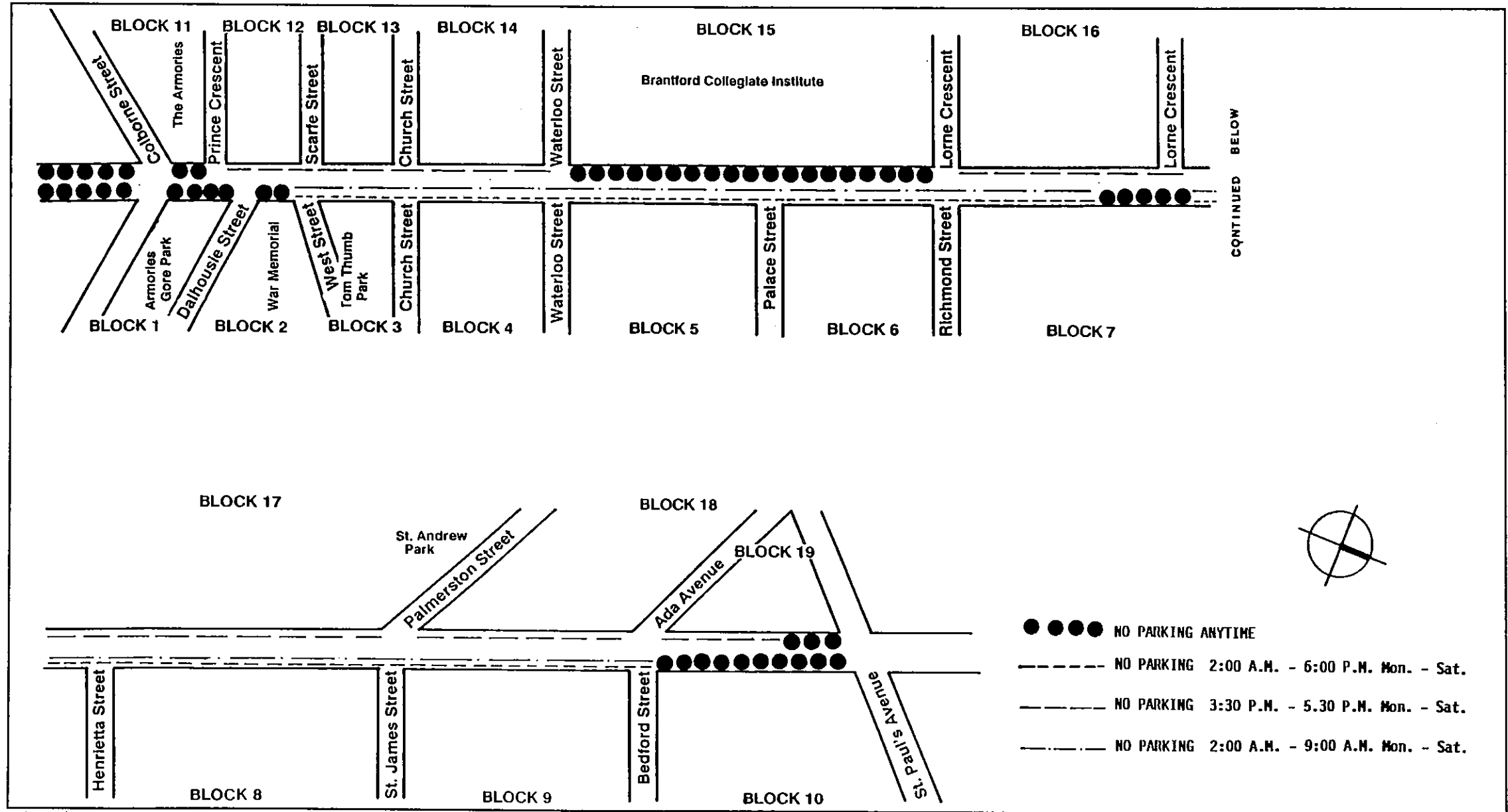
At present only a limited number of rear parking lots are linked together resulting in too frequent driveway access points from Brant Avenue. The City should initiate the development of right of ways interconnecting rear parking areas and eliminating some driveways. This action, could reduce the number of turning movements to and from Brant Avenue, and facilitate improved traffic flow.

**3. Identification:**

Clarity of access to individual businesses along Brant Avenue can also be facilitated by limiting the number of entry points, provided the shared driveways are well signed and visually demarcated by feature planting or gateposts.

Front yard parking is provided on ten properties along Brant Avenue. This situation has occurred because the buildings have long setbacks; access to rear yards is constrained; or the building use has a high parking demand. In total, about 150 parking spaces are provided in front yard areas. The visual impact of this parking should be minimized by introducing screen planting and architectural walls where appropriate, and by restricting front yard parking in the future.

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MAP NO. 7 PARKING REGULATIONS

**Recommendation:**

*The development of a Municipal parking lot(s) is not recommended. Greater success could be achieved by the organization and linking of rear parking areas which would provide continuous parking zones which could service the commercial properties along Brant Avenue. This system of parking lots already exists, and requires only further organization and landscape/surfacing improvements. Such an organized parking system could also result in reduction of access points along Brant Avenue. The numerous exits along Brant servicing each individual property increases traffic congestion and the opportunity for accidents due to the various turning movements.*

Many environmental concerns related to noise and air pollution are related to the intensity of traffic along Brant Avenue. These concerns could be partially alleviated by the use of landscape planting to help buffer and ameliorate the impact of car and truck traffic. Due to the high volume of traffic along Brant Avenue, public crossing of the street is not encouraged other than at intersections.

**Recommendation:**

*It is recommended that pedestrian crossings at intersections be highlighted with contrasting paving.*

The use of designated pedestrian crossings will visually highlight the pedestrian circulation zone. The insulation of the paving detail, however, must meet stringent engineering standards so that it can be properly maintained, and will not become a hazard either to pedestrians or traffic crossing the intersection.

**Recommendation:**

*The Engineering Department of the City of Brantford should contact other municipalities who have implemented such a program, such as the Town of Oakville, City of Burlington, City of Toronto, to obtain comments as to the maintenance and success of such pedestrian crossings.*



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**5.6 PLANNING RECOMMENDATIONS**

As previously noted, the Study essentially limits the range of uses permitted to those which already exist within the study area, except for retail. In this regard, continued (re)development of complementary land uses can be expected. The limitation on retail uses and other higher traffic generating uses, under Modified Policy Area 22 of the Official Plan, is recommended to be extended as per the following map. This will also help ameliorate future traffic conflicts along Brant Avenue, which experiences high peak hour volumes.

The Official Plan allows for reasonable residential intensification on the larger residential lots through urban severances. The Official Plan also encourages commercial development within converted buildings and new development of a type and at a scale compatible with the surrounding area. Finally, comprehensive commercial block development is encouraged to achieve integrated accesses, parking and other site plan features.

The Official Plan contains appropriate policies which enable the City to control noise and vibration, buffering, parking, site planning, property standards and signage in a manner complementary to the goals of heritage conservation.

Perhaps the most important policies are those which authorize the preparation of studies leading to a Heritage Conservation District Plan, which in turn will lead to the designation of a Heritage Conservation District under Provincial legislation.

*In conclusion, the Official Plan's policies and authority regarding designation of a Heritage Conservation District are appropriate and very compatible. No amendments to the Plan are recommended as a result of this study, other than the recommendations to amend the size of the area noted as Modified Policy Area #22. Furthermore, the Study Team agrees fully with the Plan's guidelines set out in Sections 8.6.3 and 8.6.4.*

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**5.7 ZONING RECOMMENDATIONS**

The current Zoning By-Laws for Brant Avenue do not fully implement the policies of the new Official Plan for the study area. They permit:

- :retail uses where prohibited by the Official Plan*
- :service uses where prohibited by the Official Plan.*

These areas of difference have a direct bearing on the potential (re)development permitted within the study area. This in turn may result in a range of uses and built forms which are not compatible with the heritage qualities of the study area.

It may be argued that the higher residential densities permitted in the Zoning By-law may allow for the profitable conversion of large, older homes and thus preserve them in good condition for posterity. Furthermore, urban residential severances of these larger lots may provide the cashflow necessary for owners to maintain these older homes. This reasoning is not, however, sufficient to overcome the Plan's clearly established density guidelines for residential development. These density guidelines are necessary to ensure that the existing urban fabric is by and large preserved.

*It is recommended that the Zoning By-laws be amended to fully implement the new Official Plan policies and the recommendations of this report. This will ensure that (re)development in the study area is much more compatible with the area's heritage character.*

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## 6. THE HERITAGE DISTRICT MASTER PLAN

The attached drawing outlines the boundary of the Heritage District. The boundary generally follows the rear lot line of properties fronting on Brant Avenue, and includes lands in both public and private ownership.

The Master Plan also illustrates proposed improvements to the public boulevard and abutting properties. The aim of the Master Plan is to enhance the attractive qualities of the existing streetscape, rather than to propose major and unwarranted changes. The Plan identifies:

1. As a first priority, immediate actions to visually upgrade the street and increase public awareness of its heritage value to the community; and
2. As a second priority, opportunities to introduce amenities to the street over a longer time frame, which will provide a cohesive identity for the street and higher pedestrian amenity.

### Phase I - Immediate Actions

As a first priority, the formal landscape character of the street should be reinforced by planting new trees where gaps now exist, and replacing specimens in poor health. Where front yard parking extends out to the sidewalk, the co-operation of private landowners should be sought to introduce screen planting next to the parking.

Signage identifying the Heritage District should be provided at the St. Paul Avenue and Dalhousie Street intersections, to give the area a higher profile at an early stage.

The projected cost for the landscaping is \$40,000.00. The signage cost will depend on design and the materials used.

### Later Phases - Incremental Improvements

Over the long-term, the municipality should implement an on-going improvement plan to provide a cohesive identifiable character of the Heritage District, and to improve the level of pedestrian amenity.

*It is recommended that, as a demonstration project, signalized intersections along the street be upgraded to provide:*

1. *Decorative paving delineating pedestrian crossings;*
2. *Period light standards to provide a heritage character;*
3. *Planters to provide colourful annual planting and to create a degree of separation between pedestrians and traffic on Brant Avenue; (a "half-barrel" planter shape is proposed which can be easily removed for access to below grade services);*
4. *Additional benches in parks and at bus stops.*

The projected cost for the above is approximately \$30,000.00 per signalized intersection, and approximately \$10,000.00 for the new benches.

## 7. IMPLEMENTATION PLAN

We have prepared an Implementation Plan for the City of Brantford to establish a Heritage Conservation District. The approach is based upon that outlined in Ontario's Heritage Conservation District Guidelines (Ontario Ministry of Citizenship & Culture, 1985). An outline of the process is included, however, the Planning Department Staff and Council should refer to this document for more detailed guidance as to the implementation procedure.

We have outlined a preferred direction and implementation process. If this process is not successful, an alternative plan is also provided.

Two scenarios are therefore included in this section of the report. These are:

1. the Heritage Conservation District designation is approved by the Ontario Municipal Board (OMB), or
2. designation does not receive OMB approval.

The City should undergo a 'preparation phase' where more detailed planning and public information dissemination takes place. (To a large extent, this current study provides the base for this.) This activity will allow for the City to fully prepare for its case before the OMB, and should last into the spring of 1988. After OMB consideration, one of the two scenarios outlined above will apply.

If designation is approved, there will be a number of activities required on the part of Council, the Planning Department, and other established organizations. In addition, we recommend the formation of a Heritage District Promotions Committee, with representation from Council, property owners within the District, Brantford Heritage Committee, the Downtown B.I.A., the Planning Department, etc. The mandate of this Committee would include the following:

1. development of promotional materials (e.g., walking tours) for the District;
2. encouragement (by example and praise) of property owners to upgrade their properties;
3. participation in the preparation of development guidelines for the district;
4. development of signage, plaques, etc.

The rationale for the formation of this Committee is to ensure that the potential benefits of designation of the District (i.e., property upgrading, retaining tourists in Brantford for a longer time) are maximized. This is especially important in light of other developments (such as the Telecommunications Discovery Centre) which can be expected to bring major increases in tourism to the City.

Also, a Heritage District Review Committee will need to be formed to review new development proposals within the area, and to assist and advise in the processing of various grant applications. This Committee could be composed of (for example) 2 representatives from Council, 2 property owners, and a representative of the Heritage Committee. It would need to meet only on an "as required" basis to review specific applications.

The City of Brantford has within its official plan, provisions with respect to designation of Heritage Conservation Districts. Council has established, and has in operation, an advisory committee, the Brantford Heritage Committee. Prior to passing any by-law designating a Heritage District, Council must consult with the Brantford Heritage Committee and its Heritage Review Subcommittee, to examine the area to determine if it meets the criteria established within the Municipality's official plan. This study shall form the basis of the assessment. If Council agrees with the findings of this study and the recommendations of the Brantford Heritage Committee, the City of Brantford may pass a by-law to designate Brant Avenue as a Heritage District.

If designation is not allowed, the City should still attempt to prepare and update (as required) Community Improvement Policies for Modified Policy Area 22 (already designated as a special policy area). These special policies should include site plan control, a revised zoning by-law, and parking policy modifications (this latter item probably not differing significantly from the parking policies put in place under the designation of the area as a Heritage Conservation District.) Also, expansion of the existing area should be considered.

This Implementation Plan should be regarded as a general framework only, where the timing and sequence of actions is proposed as a guide. It is quite possible, for example, that OMB approval may take longer than anticipated, thus delaying the entire schedule. Also, unforeseen events (such as the sudden emergence of significant and vocal opposition to the concept of designation) may arise, that also must be dealt with on an ad hoc basis. This plan, then, reflects a general sequence of events, and realistic timing, assuming such unforeseen contingencies do not arise.

The following charts outline this Implementation Plan in some detail. Each recommended action is detailed in terms of:

1. responsibility for the action;
2. timing of the action
3. resources required (human, financial)
4. contingencies (i.e., activities that need to occur before the action can be undertaken).

ACTION	RESPONSIBILITY	TIMING	REQ'D RESOURCES	CONTINGENCIES
1. Circulate and Review Brant Heritage Conservation District Study	Planning Dept.	Immediately	3 days	receipt of report
2. a) Refine Heritage District Concept b) Develop Interim controls for area	Planning Dept., Heritage Comm.	March	5 days	based on action 1
3. Hold public meetings, informing public of reasons and intention to designate District	Planning Dept.	April	3 days	after action 2
4. Prepare By-Law and designate District through passage of by-law)	Planning Dept.Council, with Heritage Comm. support	late April	3 days	after action 3
5. Submit by-law to OMB for approval (and notify Ontario Heritage Fndtn)	Council	May	minimal	after action 4
6. OMB approvals process, which may include: :public meeting (mandatory) :presentations from property owners :presentations from interest groups	OMB Council, Planning Dept. respond as req'd	Summer 1988	uncertain	after action 5

**IF OMB APPROVAL OBTAINED, IMPLEMENT SECTION 'A', FOLLOWING. IF APPROVAL NOT OBTAINED IMPLEMENT SECTION 'B'**

<u>SECTION 'A'</u>				
ACTION	RESPONSIBILITY	TIMING	REQ'D RESOURCES	CONTINGENCIES
1. Formation of Heritage District Review Comm.	Council Heritage Comm.	fall 1988	minimal	after OMB approval
2. Prepare District Heritage Plan *(provision under Official Plan) including: :Community Improvement Policies :development/restoration guidelines :Zoning Controls :planning policies :planned public improvements :transportation and parking policies	Planning Dept. (within input from the Review Committee)	fall 1988	45 days	after OMB approval
3. Incorporate District Plan as part of Official Plan (optional)	Council Ministry appr. for Municipality	fall/winter 1988	minimal for City; 2 Days for Ministry	after action 2
4. Form Heritage Conservation District Promotions Committee with representation from: :Brantford Heritage Committee :Visitor & Convention Bureau :Property Owners :Council	Council with support from Chamber of Commerce, Visitor & Convention Bureau etc.	fall 1988	variable	concurrent with action 2
5. Develop promotional materials, e.g. :walking tours :pamphlet :signs and placques :talks and seminars	Heritage Conserv. District Promo. Committee	1989 and ongoing	variable; some costs for printing, signage, etc.	after action 4

\* Based upon the recommendations contained in this report.

ACTION	RESPONSIBILITY	SECTION 'B'	TIMING	REQ'D RESOURCES	CONTINGENCIES
1. Prepare draft Community Improvement Policy (C.I.P.) for Modified Policy Area 22, including: :goals and objectives for area :zoning by-law :signage by-law :development guidelines :site plan review	Planning Dept.		fall 1988	30 days	after OMB decision not designate
2. Hold public meetings to obtain reaction to draft plan	Planning Dept.; Council		winter/spring 1989	5 days	after action 1
3. Incorporate C.I.P. (as revised, if required) into Official Plan	Council		spring 1989	minimal	after action 2
4. Undertake public improvements within Modified Policy Area 22	Council; Planning Dept.; Eng. Dept.		on-going	phased capital requirements	
5. Undertake parking requirements: :improve street capacity	Council Parking Authority		on-going	phased capital requirements	
6. Encourage property owners to upgrade, through: :moral persuasion :praise :peer pressure	Council; Planning Dept.; B.I.A.		on-going	financial commitments from individual property owners	

**SECTION 'A' (CON'T)**

ACTION	RESPONSIBILITY	TIMING	REQ'D RESOURCES	CONTINGENCIES
6. Encourage private owner improvements, using: :public praise of good examples :facade easements - :grants and/or loans to property owners (if appropriate) :rear parking lot improvements	HCD Promotions  Council Heritage Comm. (if appropriate, requires by-law)	ongoing Committee	minimal	after OMB approval approval
7. Undertake public improvements within defined Heritage Conservation District	Council; Planning Dept.; Engineering Dept.	1989 and ongoing	variable; phased capital requirements	after action 3
8. Undertake parking improvements :improve street capacity	Council; Parking Authority	on-going	phased capital requirements	



Based on Part V of the Heritage Act, Sections 40 to 46, the following actions must be undertaken:

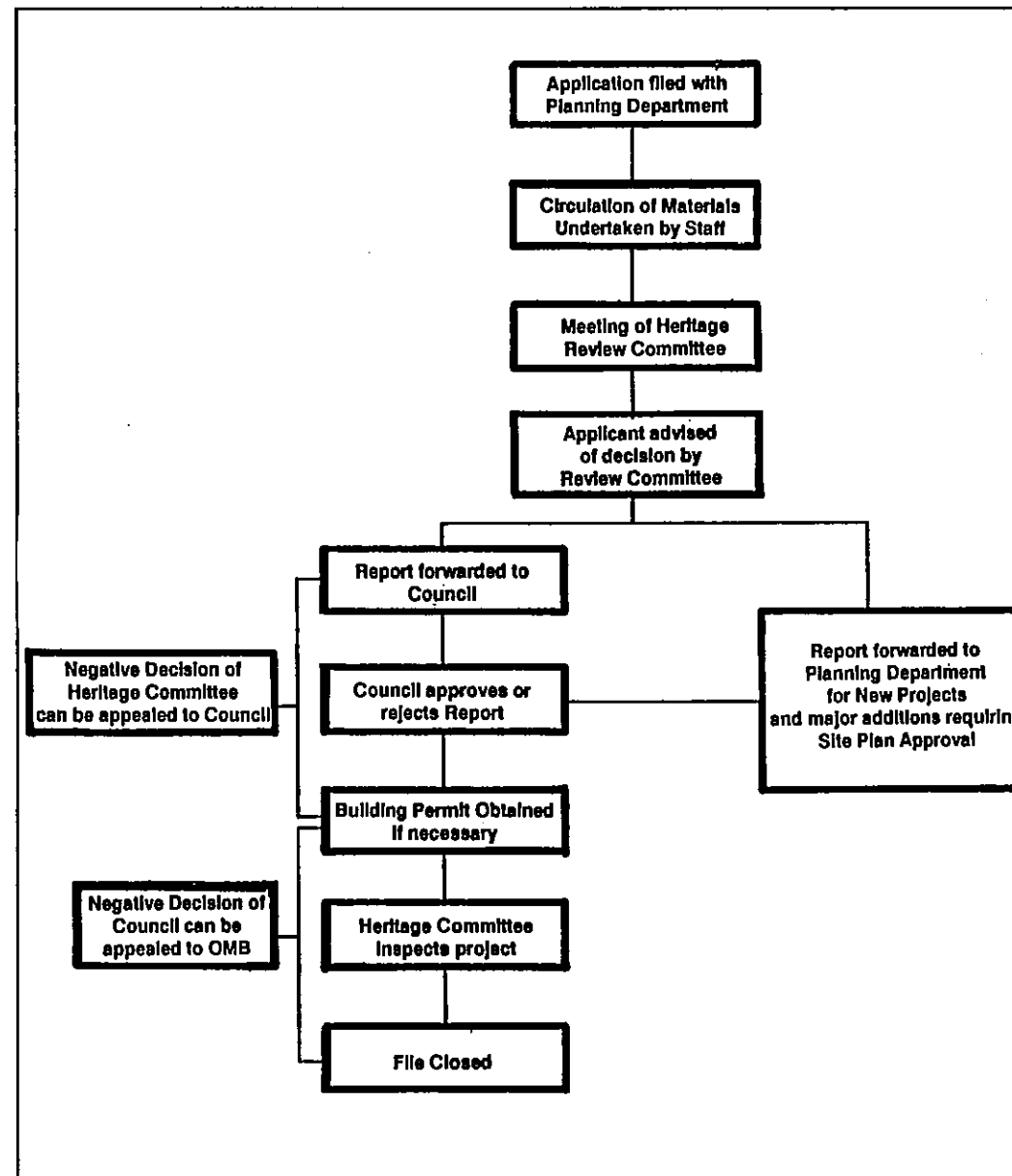
1. The Municipality must apply for approval of the by-law from the Ontario Municipal Board (O.M.B.), 14 days after it is passed by Council.
2. The Municipality must inform all affected persons as the O.M.B. may direct. (The by-law cannot come into effect without approval of the Board; in addition, no designated property can be part of a heritage conservation district).
3. The Municipality must inform the Ontario Heritage Foundation.
4. Prior to approving the by-law, the O.M.B. shall hold a public hearing for the purpose of inquiring into the merits of the application, and of receiving any objections that may be brought to the attention of the Board.
5. The Board may approve the by-law in whole or in part.

After the Heritage District by-law has been approved and passed, no building can be demolished, removed, or the external portions altered without a permit issued by the Municipality.

Anyone wishing to undertake any of the above actions within the Brant Avenue Heritage District will be required to make application to the Municipality. Refer to the following chart, which outlines the process.

An individual property owner, if refused approval, will have the right to appeal the decision of the Heritage Committee to Council, and if refused by Council, shall have the right of appeal at the O.M.B.

Where an application for a permit to demolish or remove a building or structure is refused, or the Council fails to make a decision, the applicant (upon expiration of a period of 180 days from date of refusal without a satisfactory resolution) may proceed.



RECOMMENDED PROCESS FOR HERITAGE APPROVAL

**PROBLEMS &  
OPPORTUNITIES**

**1. LAND USE**

**1 A) PROBLEMS**

Brant Avenue is in a state of transition; its future direction is not clearly perceived by the Public

There exists economic pressures for change - a number of properties are currently for sale, (likely residential to commercial uses)

Increasing land values and the high level of traffic encourage greater commercialization and reduce the possibility of low density residential uses

The range of uses currently permitted provide an opportunity for major alterations or even wholesale destruction of the existing buildings

Greater retail commercialization, even if it is up-scale, will physically change the street; more retail commercial signage, further building alterations, increased traffic, and additional parking. Increased commercialization may have a detrimental impact on adjacent residential neighbourhoods given increased traffic, residual on-street parking and compatibility of rear parking/service areas with adjacent residences

Greater commercialization may mean further loss of residential uses on Brant Avenue and perhaps erosion of existing professional office uses (medical oriented)

Local residents object to the growth of the following types of development already on the street ie: strip malls, apartments, fast food outlets and restaurants (generally)

Currently there is no formal Site Plan Review Process to guide the quality and nature of development

Brant Avenue remains cohesive, but inappropriate development could destroy the fragile balance

The surrounding residents and public largely object to any new use on Brant Avenue which will result in the demolition or major alteration of an existing heritage building

A precedent is being established by the development of a new highrise condominium which will drastically change the scale of development and skyline at the foot of Brant Avenue

**1 B) OPPORTUNITIES**

Increasing land values could stimulate new investment in the existing fabric of Brant Avenue

Brant Avenue has currently a specialized function for Brantford due to its concentration of medical offices, in particular, eye care related

The professional offices of Brant Avenue are compatible with the existing fabric; i.e. large and small homes which can be converted without major alteration to the physical appearance

The predominance of one or two practitioners per dwelling minimizes the impact of traffic on the street

The majority of existing uses, particularly the medical/professional, do not compete with other areas of Brantford

Brant Avenue provides opportunities for individuals and professionals to own their own building rather than occupying a large office complex or shopping mall

The surrounding residents and public do not appear to object to the funeral homes, professional/medical offices, high school, the various churches or the small boutiques which are currently on the street

There appears to be a need for a small grocery store to serve the surrounding residential area

Both existing convenience and specialized retail (boutique/commercial) uses support further commercialization towards an upscale commercial area similar to "Hess Village", Hamilton

The recently proposed highrise condominium sets a precedent both for major redevelopment and preservation of Brant Avenue's historic fabric

**2. TRAFFIC**  
**2 A) PROBLEMS**

Heavy traffic on Brant Avenue was the greatest concern of everyone interviewed

If on-street parking was removed from Brant Avenue, it could have a negative impact on existing professional and commercial operations. It could also lead to a very sterile environment

The heavy truck traffic is a major source of concern because of noise, vibration, pollution, added congestion, and safety

The existing configuration of roads prevents easy resolution of traffic

The Highway 2 status of Brant Avenue and the resulting traffic are not conducive to the main entrance of single family residential uses, originally on the street

The numerous access points along Brant Avenue to businesses and residences reduce traffic flow and safety. There are no controls restricting direct access

On-street parking restricts traffic flow

**2. A) TRAFFIC PROBLEMS (CON'T)**

On-street parking which changes the road width from 4 to 2 lanes along Brant Avenue further impairs the flow of traffic

The configuration of some intersections forces truck traffic through residential areas

Heavy traffic on Brant Avenue has increased traffic on the and side streets reducing efficiency of transit service

The level of traffic on Brant Avenue makes a reversion to single family residential uses unlikely

**2 B) OPPORTUNITIES**

Study currently being completed re: synchronization of traffic lights

Study to begin shortly on truck routes city wide

Study underway regarding alteration of traffic direction on streets parallel to Brant Avenue

Other alternatives will be reviewed shortly by the Engineering and Traffic Department regarding a Grand River Bridge to improve circulation across the City

Opportunity exists to improve rear parking along Brant Avenue, i.e. further extend the co-operative attempt to date re: shared areas and joint access

**3. PARKING  
3 A) PROBLEMS**

On-street parking restricts traffic flow from 4 lanes to 2 lanes along Brant Avenue

On street parking is one of the major causes of congestion along Brant Avenue; however, on street parking is an essential service, particularly for retail oriented commercial operations on Brant Avenue

No public parking lots along Brant Avenue

New retail, commercial uses have higher parking demands than residential or professional offices but on-site parking is not currently required

Few rear parking areas are attractively screened or paved

The unlandscaped rear parking areas have a negative impact on adjacent residential properties and may lead to deterioration of the surrounding residential streets. This situation is more acute where access to commercial properties has developed from the rear, off residential streets

Parking areas are generally invisible from Brant Avenue and not clearly identified by signage for easy access

Some parking areas extend out to the street with limited or no landscaping to separate pedestrians and vehicles or to screen the parking

The removal of on-street parking will necessitate the development of public parking lots and increase the size of existing private parking areas. In addition, the resulting range of uses will have to be restricted until adequate parking is provided for current and projected uses

**3 B) OPPORTUNITIES**

There are existing examples of co-operation between building owners in shared parking

The concept of rear yard parking has been accepted by neighbouring residential properties as a necessity. Further enhancement is desired.

In general, the existing character of current professional uses minimize the demand for parking

Because parking is generally provided at the rear of Brant Avenue properties, parking to date has had a minimal visual impact on the character and ambience of the street

**4. IDENTITY  
4 A) PROBLEMS**

The future character and identity of Brant Avenue may be negatively determined by the allowable uses which are not sensitive to the area

Due to the fact that Brant Avenue remains in a transitional phase of development from a once largely residential to a now predominately commercial area, there is apprehension about its future identity

There is a lack of overall co-ordination in signage, landscaping, street furniture, etc. These are important aspects in establishing a cohesive and unified district

The present by-laws do not facilitate the co-ordination of allowable uses and existing building fabric

**4 B) OPPORTUNITIES**

Opportunity exists to establish the identity and character of Brant Avenue and to determine the uses which will be supportive rather than destructive

Brant Avenue could become the "Front Door" to Brantford

The street is envisioned by some as "Hess Village, Hamilton"

Brant Avenue already has a distinctive character and role established by medical practitioners

The quality of Brant Avenue's historic buildings could make it a significant attraction in Brantford's tourism promotion, resulting in a major increase in revenue for the City as a whole

**4 B) IDENTITY  
OPPORTUNITIES (CON'T)**

Opportunity exists for Brant Avenue to physically integrate itself with the downtown and/or Dufferin area

The parks at both ends of Brant Avenue, effectively define the extent of the heritage area

The desire and opportunity exists to develop Brant Avenue in a manner more conducive to pedestrian use

**5. HERITAGE  
5 A) PROBLEMS**

One of the greatest concerns most individuals interviewed expressed was the need to preserve Brant Avenue's heritage

Brant Avenue's overall historic flavour can be easily jeopardized without adequate controls

Brantford's ability to maintain the heritage character with changing building and land uses is uncertain

**5 B) OPPORTUNITIES**

Brant Avenue is a source of community pride, however, the depth of commitment to its preservation is unknown

Heritage quality of the street can play a strong role in the City's tourism policy

In general, the heritage character of the street and its buildings has been preserved to date

**6. BUILDING FABRIC  
6 A) PROBLEMS**

There are economic pressures for change to uses not compatible with the existing building fabric

There has been and continues to be encroachment of new construction on and around the street

Further education of and guidance to Landowners is needed to ensure sympathetic renovation and restoration of the existing fabric

With regard to existing buildings, the most significant and obvious architectural problems are unsympathetic signage; landscaping and insensitive interpretation of architectural styles and detailing in renovations and alterations

Currently, the restrictions on development (building, landscape and siting) are minimal

**6 B) OPPORTUNITIES**

The existing building fabric is representative of the City's character and past

Many buildings have been maintained and are in good condition

The street contains several Brantford landmark buildings

The area is conveniently close to the downtown

Many of the buildings are of a good architectural quality and are handsome examples of local construction representative of a period from 1860 to 1910

Guidance concerning future restoration and renovation is met by most with enthusiasm and interest

The street contains a variety of building types

Although there have been late intrusions of new buildings on the street, the streetscape is still cohesive and identifiable

Funding for heritage conservation districts and designated properties has been renewed by the Province; this provides an attractive source of funding for restoration, maintenance and preservation of Brant Avenue's building fabric

**7. SIGNAGE  
7 A) PROBLEMS**

Some of the existing signage, particularly the larger illuminated and non-illuminated signs on buildings detracts from the quality of Brant Avenue and its architecture

There are several recurring types of signs along Brant Avenue, but there is no cohesive signage program

Existing sign by-laws are open to wide interpretation

No unified or specialized public street sign program for Brant Avenue

**7 B) OPPORTUNITIES**

Brant Avenue has several "post" type signs which are closely associated with various historic forms. There are also building signs in brass, painted or wood letters on sign boards, plaques or applied directly to the building. These various sign types could comprise an appropriate "palette" of sign forms.

**7 B) OPPORTUNITIES - SIGNAGE (con't)**

Some building signs utilize colours, materials and type faces relevant to the architectural era; this could be further developed and encouraged

75% of the signage maintains a consistent eye level approximately 3' to 6' above ground when not attached to a building

**8. LANDSCAPE/OPEN SPACE  
8 A) PROBLEMS**

There is no master plan approach to the landscape treatment, either in the public boulevard or in private front yard areas

Some mature trees are in poor health due to road widening

Columnar maples planted are an inappropriate species to enhance the heritage character of the street

There is no street furniture present, thus discouraging pedestrian use

No sense of protection to the pedestrian from vehicular traffic

Need for additional planting to provide cooling and shade for pedestrians during the summer

**8 B) OPPORTUNITIES**

The original character and heritage quality of the street could form the basis of a "master plan" approach

Landscape elements can be utilized to unify the street

Landscaping can be used to both screen and buffer unattractive aspects or conflicting uses

Co-ordination of planting; paving material; street furniture and signage could help support a distinctive identity and sense of place for Brant Avenue

**9. MANAGEMENT  
9 A) PROBLEMS**

There is a perceived feeling of apathy about Brant Avenue by owners

There is no representative or united voice for Brant Avenue

There is uncertainty and lack of knowledge regarding the implication of a Heritage Conservation District among building owners and tenants along Brant Avenue

Greater communication is needed among heritage groups in Brantford

No communication between heritage groups and B.I.A. in the downtown

Preservation of heritage structures has not been a priority of Council in the past - new development and growth has been the greater priority

**9 B) OPPORTUNITIES**

Dufferin Avenue residents are an active and vocal group concerned about the future of Dufferin Avenue and Brant Avenue and may form a strong representative body of concerned citizens

The Heritage Conservation District Study can be a stimulus for discussion and action

A positive interpretation can be developed in balancing new development and heritage if Brant Avenue and Dufferin Avenue are preserved. They could thus act as the heritage half of the equation, to balance new development elsewhere

In approximately 2 to 3 months, Brantford will have a new Official Plan which can provide the first step in updating the zoning and initiating Site Plan Control to preserve the quality of the street

**A.1.2 OFFICE/RETAIL MINI SURVEY**

Townpride undertook an inventory of the Brant Avenue areas to commercial uses through two different sources. In reviewing both surveys, we composed the following chart and survey analysis. There may be minor discrepancies as a result of the inventory, since access was not available to all areas of all the buildings surveyed.

In several of the buildings surveyed, office/commercial use occupied more than one floor of a 2 or 3 storey building; whereas there were very few examples where retail uses occupy more than one floor. Therefore, on a square footage basis, office/commercial uses further dominate commercial activity in the Brant Avenue Study.

TOTAL BUILDINGS INCLUDED:	61		
TOTAL OFFICES:	41	OR	6.72%
TOTAL RETAIL:	19	OR	31.0%
TOTAL COMBINED:	1	OR	1.8%

**A.1.3 PLANNING & ZONING**

Reference was made to the City's New Official Plan, adopted by By-law 184-86, and approved by the Ministry of Municipal Affairs. The following summarizes policies applicable to this study. Official Plan section numbers have been added in brackets.

**1. Study Area Designations**

The study area encompasses several designations within the City's Official Plan. These include:

1. "Mixed Commercial Residential" along both sides of Brant Avenue between Bedford Street and West Street
2. "Major Institutional" on the Brantford Collegiate Institute and Vocational School site
3. Predominantly "Low Density Residential" east and west of the two above noted designations, with some minor "Medium Density" sites.

**2. General Goals and Policies**

One of the Plan's general goals is to encourage the rehabilitation of existing housing stock in order to maintain an appropriate supply of housing and if necessary utilize Federal and Provincial programs (6.2.8). Another is to utilize or promote programs for the preservation, renewal, or redevelopment of existing development (6.2.13). Finally, a third is to encourage the preservation of lands, building structures, and sites of historic, architectural, and archeological value (6.2.36).

One of the Plan's general residential policies requires building setbacks, landscape screening and buffering between adjacent residential and nonresidential development (7.2.1.12).

### 3. Residential Policies

The Plan's policies for "Low Density Residential" uses permits single detached, semi-detached, duplex and triplex residential dwellings to a maximum density of 30 units per net residential hectare. Variety in lot and building sizes is encouraged in order to reflect the spacious open character usually associated with this designation (7.2.2.1, .2, and .3).

The Plan's policies for "Medium Density Residential" uses permit up to low rise apartments, at a density not to exceed 60 units per net residential hectare. Densities up to 86.5 units per net residential hectare may be permitted subject to certain conditions, one of which is a maximum building height of 4 stories.

### 4. Commercial Policies

General commercial policies require buffering between commercial and differing adjacent land uses (7.3.1.4).

The Plan's "Mixed Commercial Residential" area policies apply to Brant Avenue. The range of uses permitted here are limited for a portion of this area by the restrictions of Modified Policy Area 22, (Schedule 2, Modified Policy Areas). In summary, the following uses are permitted within this area:

1. Low density residential uses and fourplexes
2. Business and professional offices
3. Multiple family dwellings including lodging houses located within a building originally constructed as a single detached
4. Residential dwelling
5. Art galleries and museums
6. Music, dance, photography, or art schools or studios
7. Churches and places of worship
8. Accessory buildings and structures (7.3.8.2, 7.3.10.6)

The "Mixed Commercial Residential" area policies further state that development should generally take place through the conversion of existing buildings and structures, and that new infill development should be compatible in type and scale with surrounding uses and buildings. Outside storage is prohibited and adequate on site screened and buffered parking is required.

Pedestrian access to at-grade commercial uses is encouraged, and commercial signs are to be limited in accordance with the by-law. Finally, comprehensive block development of lands in separate ownership is encouraged to achieve well designed and integrated development. This integration is to include internal circulation, access, landscaping, parking, signage, and lighting. The plan further states that the zoning by-law and site plan approval will also encourage such comprehensive block development (7.3.8.4 to .10).

### 5. Institutional Policies

The Plan's "Major Institutional" designation, which applies on the school site, essentially limits permitted uses to the traditional range of institutional and accessory facilities (7.5). This section also requires buffering between "Major Institutional" uses and adjacent land uses. Finally, this section states that surplus school sites are to be used for any of the previously mentioned permitted uses, parks and open space, community centres, municipal or private libraries, and municipal recreational uses.

### 6. Noise and Vibration Control Policies

The Plan also contains policies concerning noise and vibration control. It states that the City may require a noise analysis to be submitted where residential development is proposed adjacent to an arterial road (8.4.2.1). Brant Avenue is an arterial road.

### 7. Buffering Policies

The Plan's buffering policies apply to residential area designations adjoining commercial area designations (8.5.4). Buffering requirements which will be implemented through the zoning by-law or site plan approval, may control outside storage, parking, loading, garbage collection, lighting, signs, screening, landscaping, and distance and separation.

### 8. Heritage Conservation Policies

The Plan encourages conservation of areas, sites, buildings, and structures of historical, architectural, archeological merit (8.6.1). The City may establish Heritage Conservation Study Areas through by-laws enacted pursuant to the Ontario Heritage Act, and examine potential Heritage Conservation Districts as long as they satisfy at least one of the following criteria:

1. The area represents a group of historically or architecturally significant buildings or structures in regard to their style, originality, age, craftsmanship, or identification with a specific period or persons of Brantford's history; or

2. The area represents a site identified with a specific period or persons within Brantford's history (8.6.3).

The Plan allows the City, in consultation with the Brantford Heritage Committee, to undertake studies prior to the preparation of a Heritage Conservation District Plan for the areas designated under section (8.6.3). These studies may address the following:

1. Land use
2. Pedestrian/vehicle movement systems
3. Historic and/or architectural significance of individual buildings,
4. Structures, or site service in the study area
5. Ownership patterns
6. The visual environment
7. The physical condition of the building and structures or sites
8. The social or economic conditions of the study area; and
9. The present and potential development proposals within the study area (8.6.4).

The Plan then allows the City to designate Heritage Conservation Districts by by-law enacted pursuant to the Ontario Heritage Act.

The by-law shall:

1. Identify the extent of the District
2. Establish the procedures for alteration or demolition of existing buildings as well as the erection of new buildings
3. Establish the process for appeal to the OMB; and identify any aspects of the District Plan which require implementation by by-law (8.6.5 to .7).

The Plan further states that:

1. The Heritage Conservation District Plan may be incorporated into the Official Plan as a Secondary Plan (8.6.8)
2. An inventory of historic or architecturally valued buildings shall be encouraged, with the view toward designating selected properties pursuant to the Ontario Heritage Act (8.6.9 to 12), not incorporated within the District
3. The City may seek funding for the conservation and restoration of buildings or structures with assistance from appropriate authorities (8.6.13).

#### 9. Transportation Policies

The Plan's transportation policies with regard to roads, identify Brant Avenue as an "Arterial Road", (Schedule 4, Transportation Planning). William Street and Albion Street are identified as "Collector Roads". The Plan's "Arterial Road" policies establish a right-of-way width of 26 to 40 meters, and accept lower widths where warranted. Direct access to "Arterial Roads" is to be controlled wherever possible so as to minimize traffic hazards, and to avoid interference with the primary function of monitoring through traffic. "Arterial Roads" are designed to carry moderate volumes of inter-regional and intra-municipal traffic (9.2.6).

#### 10. Parking Policies

The Plan's parking policies point to the zoning by-law for standards. On-street parking is only to be permitted where it does not interfere with traffic flows or create traffic hazards. Parking is also to have adequate buffering (9.5.1 to .3).

#### 11. Community Improvement Policies

The Plan designates the study area as part of the "Community Improvement Policy Area". (Schedule 5 Implementation). The Plan's Community Improvement Policies detail criteria for the designation of "Community Improvement Project Areas" and preparation of related plans (12).

#### 12. Site Plan Control Policies

The Plan authorizes the City to apply Site Plan Control by by-law and to exclude certain uses therefrom (14.10).

#### 13. Property Standards Policies

The Plan allows Council to enact a property standards by-law (14.13).

#### 14. Sign By-Law Policies

The Plan allows Council to adopt sign by-laws (14.17).



## ZONING BY-LAW

Reference was made to the City's Zoning By-law Nos. 3649 and 122-78 as amended (as provided by City staff). The following summarizes regulations applicable to this study.

### 1. Two Family Zone

The larger residential lot neighbourhood west of Brant Street and north of Richmond Street is zoned "TF - Two Family Zone". Within this zone, traditional simple family residential uses, together with multiple family uses up to quadraplexes, are permitted. Effective densities in this zone may reach 54 units per net residential hectare. This is in excess of the 30 units per net residential hectare permitted for this area under the Official Plan's "Low Density Residential" designation. It is clear that the larger residential lots may be redeveloped for more intense residential uses, even if some minor variance for frontage and setbacks are required. New development may thus not be compatible with the historic scale of the area. However, it is quite possible that some of the older, larger historic homes may be preserved if profitably converted to the permitted multiple residential uses.

### 2. Multi-Family Zone

Lands surrounding Palmerston and Ada Avenues, at the study area's north end, and central lands, surrounding the high school, including Brant Avenue between Waterloo and Henrietta Street, are zoned "MF - Multi-Family Zone". This zone permits a higher range of residential densities, clubs, private garages, private hospitals, nursing homes, beauty salons, barber shops, and various special needs housing. Maximum densities are not specified, but a multi-residential floor area ratio of 4 times the lot area is permitted with a maximum height of 15 m. This may equate to 5 stories. The Official Plan only allows 4 stories in the "Medium Density Residential" designations. This zone allows a built form that may not be compatible with the historic scale of existing residential development in the area.

### 3. Local Business Zone

The remaining north and south portions of Brant Avenue within the study area are zoned "LB - Local Business Zone". This zone permits Single Family zone uses, banks, storage garages, hotels, motels, funeral homes, business and professional offices, retail stores and service shops (including autos), limited places of amusement, commercial greenhouses and special needs housing. This range of uses goes beyond that permitted in the Official Plan for this area. In particular, by permitting a wide range of commercial and service uses, there could be greater pressure for incompatible redevelopment.

### 4. Residential Conversion Zone

The remaining study area lands east of Brant Avenue are zoned "RC - Residential Conversion Zone" under Zoning By-law 122-78. This zone permits residential uses up to triplexes, personal service stores, schools, special needs housing, and the normal related uses. The residential density permitted for triplexes is up to 43 units per net residential hectare, which is in excess of the 30 units per net residential hectare permitted by the Official Plan. Furthermore, the Plan's "Low Density Residential" policies do not allow personal service stores in this area.

### 5. Parking Regulations

Section 15.9 of the Zoning By-law No. 3649 details off-street parking requirements for all permitted uses. All new (re)developments are thus required to provide their own on-site parking in accordance with these requirements. It is important to note that retail stores are required to provide parking at the higher rate (1 space for each 27.5 sq.m) than offices, clinics and banks (1 space for each 37 sq.m). Retail store sites will generate and thus be dominated to a greater extent by parking. Parking lots are not considered to be compatible with the study area's heritage qualities. On this basis, retail uses are less compatible with the area.



**EAST SIDE**  
**BLOCK 1**  
**COLBORNE STREET TO DALHOUSIE**

Vacant lot: to be incorporated in future hotel development.

**BLOCK 2**  
**DALHOUSIE TO WEST STREET**

Cenotaph with lawn and carpet beds forms attractive focus and compliments Armoury. I.O.D.E. Monument to be relocated to Tom Thumb Park when future hotel development occurs.

**BLOCK 3**  
**WEST STREET TO CHURCH**

Tom Thumb Park occupies this site. It is a passive park and attractive open space area. The Cenotaph and Tom Thumb Park form a south entrance to the Brant Avenue District.

**Recommendations:**

- 1) *this open space should be maintained and enhanced to accommodate greater use in the future as new Downtown development occurs;*
- 2) *the park should remain largely passive in nature;*
- 3) *initial Improvements should provide additional public seating;*
- 4) *park should continue as an attractive gateway to the Brant Avenue District and the Downtown; a distinctive sign fixture should be incorporated in the park to highlight and define the District, and the park will also be enhanced by relocated monument.*



**WEST STREET TO CHURCH**

This block contains St. Matthews Lutheran Church and adjacent ranch bungalow.

**Recommendation:**

- 1) *no action required.*

**CHURCH TO WATERLOO**

This block suffers from the impact of the small plaza, which breaks the rhythm and texture of the street. The strip plaza design is out of character with the fabric of the street; its proportions and details are not sympathetic to the streetscape.

**Recommendations:**

- 1) *prevent further erosion of the streetscape and any further demolition in this block.*

**Recommendations for individual buildings are as follow:**

- a) #73  
A Late Neo-Classical Building of landmark quality; should be preserved and further buffered along its boundary from the adjacent retail plaza's parking lot
- b) #75  
An Italianate Building of landmark quality; is well maintained and in good condition; some planting only required
- c) #79  
Some conservation and maintenance work required around the entrance



d) #81

**Recommendations:**

*An excellent example of its period. This Late Italianate building requires conservation. It would be beneficial that some of the modern changes, i.e., aluminum storefront entrance, be replaced by designs sympathetic to the period and style of the original house.*

*Ducts and mechanical equipment are prominent features along the side of the building. This approach should be avoided on future renovations; where possible, this equipment should be fully integrated into the building design and concealed.*

*Where this is not possible, such equipment should be visually organized and reduced to as compact a size as possible.*

*In addition, such equipment should be located on the exterior of the building where there is opportunity to form an enclosure or screening for visual reasons, as well as noise reduction.*

*The conversion of this residence to a restaurant has resulted in the creation of an open parking lot. The parking area should be reduced to provide for screening, and paved in a sympathetic material.*

*The building would benefit from a comprehensive landscape plan, using planting sympathetic to the building era.*

*Lastly, the building could be enhanced by further conservation procedures and improvements sympathetic to the building's character.*

**Recommendations include:** *an improved colour scheme, exterior architectural lighting to enhance and give impact to the building's form and features; and signage improvements.*

**WATERLOO TO PALACE**

This block contains several residences that are of landmark significance. The buildings represent a range of architectural styles: Italianate, Late Italianate, Gothic, Neo-Classical Cottage, and Queen Anne.

The houses are substantial in size, and are located relatively close to the street, forming a distinctive, well-defined edge.

**Recommendation:**

*This block of homes should be preserved in its entirety in order to retain the identity and character of Brant Avenue.*

**Specific recommendations for each building are as follows:**



a) #87-89

This large residence has been well maintained, and is located in a key position along the street. Minimal changes or repair are required.

**Recommendations:**

*Cut back or replace mature but overgrown foundation planting. Restoration to original veranda design would further enhance facade.*



b) #91-93

A double house, once half gutted by fire, has been altered.

**Recommendations:**

- 1) *house would visually benefit from installation of original shutters;*
- 2) *aluminum soffits should eventually be removed;*
- 3) *renovations to veranda and blocked windows should be repaired and completed in a careful workman-like manner. Execution of renovations should conceal apparent changes, for example, use of shutters to conceal a blocked window.*



c) #97-97A

Hydro offices - generally represents concerned and careful renovation regarding only modest conservation procedures.

**Recommendations:**

- 1) *restore traditional details to new stoop design - loss of original ornamentation;*
- 2) *repair brick and reconstruct of chimneys.*



d) #101

An earlier building of note.

**Recommendation:**

- 1) *restore original veranda and front door.*



e) #105

Structure has had several additions and renovations.

**Recommendation:**

- 1) *renovate tall contemporary windows in front addition to more traditional proportions. Width of windows should be increased significantly to harmonize with upper glazing.*



f) #107-109

A large double house linked by Edwardian porch addition.

**Recommendations:**

- 1) *remove paint on ground level brick;*
- 2) *restore eaves and brackets.*



g) #113

An early house requiring restoration.

**Recommendations:**

- 1) *restore original sash;*
- 2) *remove aluminum door and sidelights and replace with entrance sympathetic to building design;*
- 3) *replace semi-circular awning with protective front porch;*
- 4) *restore lower right window;*
- 5) *locate new plant material in scale with the building to soften the transition to the street, to better define public and private areas, and to reinforce the formal symmetry of the facade.*

- h) #1 Palace  
A Later Building, circa 1910  
Palace Street and flank facing Brant Avenue.  
**Recommendations:**  
1) owners should consider alternative colour schemes to soften the contrast between the brick and trim, and to articulate the various building features or details;  
2) add light foliage planting along Brant Avenue flank to help define a transitional area between street and building.

**BLOCK 6**  
**PALACE TO RICHMOND**

The preservation of this block is extremely important. It contains six buildings, each have been architecturally assessed to be of landmark quality. This group of 6 buildings is also centrally located, and this central focus of fine homes help link the north and south sections of Brant Avenue.

**Individual Building Recommendations are as follows:**

- a) #119  
This Italianate House occupies an important corner location. The appearance of the house could be improved by renovation of the studio addition.  
**Recommendation:**  
*Renovate addition using architectural elements of Edwardian front porch. The Studio currently lacks appropriate detail and proportion.*
- b) #123 - 125  
An unusual design of note, well maintained; requires no significant improvements.



- c) #127  
Well maintained; requires no significant improvements  
**Recommendation:**  
*Vines covering at least one half of the front facade should be cut back and controlled to avoid significant damage to the masonry walls.*

- d) #133  
An excellent example of the late Italianate Style Circa 1885; requires no significant improvements.  
**Recommendation:**  
1) Conservation of chimneys.

- e) #135  
An excellent example of the Late Italianate Style. Porch or Vestibule has been replaced by canopy, hung by chains.  
**Recommendations:**  
1) restore porch/vestibule  
2) replace overgrown foundation planting

- f) #137  
Brant Avenue United Church is an important landmark building. It has been altered after the fire, but remains a strong visual focal point along Brant Avenue.



**BLOCK 7  
RICHMOND TO HENRIETTA STREET**

A variety of building types compose this block.

**Specific recommendations for individual buildings are as follows:**



- a) #147  
This Second Empire House with an Edwardian front porch addition, is one of the finest houses on the street.  
**Recommendations:**  
1) *restore paint*  
2) *enhance by applying new colour scheme*



- b) #151  
Good example of English Domestic Architecture. General maintenance only required.



- c) #153 - 153 1/2  
A multiple family conversion - it is an excellent example of the Late Italianate Style; there has been little exterior change. Landscape maintenance only required.



- d) #155 - 157  
A simplified version of 153.  
**Recommendation:**  
1) *conservation of shutters and chimney.*



- e) #159  
Similar to 153 but without 2-storey bay. Building has distinctive cresting to vestibule.  
**Recommendations:**  
1) *repair wing walls to steps*  
2) *replace storms to shape of window openings*  
3) *undertake more sympathetic door restoration.*



- f) #161  
A later building not in period of neighbouring properties.  
**Recommendations:**  
1) *replace overgrown landscaping*



- g) #163  
A Late Italianate House with added Georgian Revival entrance.  
**Recommendations:**  
1) *enhance stoop*  
2) *apply new colour scheme to building*  
3) *landscape maintenance*  
4) *requires additional planting*



- h) #167  
An important architectural building that has been mishandled in renovation and additions; needs enhancement.  
**Recommendations:**  
1) *new colour scheme could enhance appearance by articulating existing architectural details*  
2) *renovate existing porch in sympathy with style of the house (currently stripped of traditional detail).*



- i) #171  
A Jacobean Revival Building with Dutch gables.  
**Recommendations:**  
1) *requires conservation of front steps and wing walls*  
2) *requires paint work and repainting of the gables*



- j) #175  
A good example of Late Neo Classical; building has been well maintained.



- k) #177A  
This building once a jewellery shop could be satisfactorily improved in several ways.  
**Recommendations:**  
1) **Alternative A:**  
*Conversion back to original residential character*  
2) **Alternative B:**  
*Maintenance of existing storefront design as period piece replacing only awning and signage:*  
a) *utilize retractable canvas awning*  
b) *maintain vitralite front*  
c) *remove vertical sign*  
d) *reduce and modify horizontal sign band*  
3) **Alternative C:**  
*Maintain storefront appearance, however, strip away vitralite storefront and reconstruct in masonry, glass and wood.*



- l) #179  
Dymond's Pharmacy  
**Recommendations:**  
1) *improve colour scheme*  
2) *remove angel stone*  
3) *reduce sign, as long range goal*  
4) *enhance shop windows and entrance*  
5) *utilize blocked window as an opportunity to create interest rather than a blank streetface, i.e., display or showcase, shuttered opening, a designed graphic or a complimentary colour panel*  
6) *enhance or "paint-out" secondary entrance door*

**BLOCK 8**  
**HENRIETTA STREET TO ST. JAMES**



- a) #189  
A later building facing Henrietta Street.  
**Recommendations:**  
1) *Additional planting and new colour scheme may enhance facade and create more distinctive identity.*



- b) #191  
A Late Neo Classical Cottage.  
**Recommendations:**  
1) *Remove modern cosmetic improvements; particularly Georgian Revival entrance and new aluminum vestibule.*



- c) #193  
A building similar to #191, which has also undergone some cosmetic improvements.  
**Recommendations:**  
1) *eliminate one (1) sign*  
2) *restore original shutters and entrance*  
3) *reduce fascia sign if retained*  
4) *apply new colour scheme to further enhance simple design.*



- d) #195  
An attractive building that has had some cosmetic renovations which are not in keeping with the original building design.  
**Recommendations:**  
1) *Revise existing entrance vestibule and stoop in sympathy with the building design (numerous porches and porch additions along Brant Avenue could serve as resource and guide) or delete*  
2) *reshape existing front dormer, long range goal*  
3) *building appearance would benefit from additional planting and new paving.*



- e) #201  
An excellent example of Late Queen Anne.  
**Recommendation:**  
1) *Conservation of pressed brick work required.*



- f) #203  
A characteristic example of Late Italianate Style.  
**Recommendation:**  
1) *Building appearance would benefit from additional planting and new paving.*



- g) #205/207  
An excellent example, similar in design to #203. Well maintained; no major changes or improvements required. Note: Second floor lattice screen addition could have been scaled down from present large panel.

- h) #211  
A hybrid design, having had numerous renovations since original construction circa 1860.  
**Recommendations:**  
1) *repair stucco*  
2) *future renovations should accentuate original house design; stripping away later elements, i.e., metal awning, and utilizing paint to accentuate and articulate the architectural details*  
3) *future renovations to the later additions should unify/balance the composition by adding appropriate detail giving greater presence and importance to the front entrance*  
4) *enliven the facade using mouldings to provide greater texture and three-dimensional quality (refer to eaves and brackets on gable)*  
5) *improve proportion of window openings*  
6) *consider treatment of windows as infill panels, rather than punched openings.*



- i) #215  
A good example of Late Queen Anne.  
**Recommendation:**  
1) *conservation of porch floor, steps, paintwork and roof.*





- j) #217  
A good example of Late Italianate.  
**Recommendations:**  
1) *cut back overgrown vines covering house to conserve brick work*  
2) *renovation of porch addition more in sympathy with the original building design.*



- k) #2 James  
A modern clinic building of contrasting style to the neighbouring buildings. Its presence is accentuated by a recent bold colour scheme.  
**Recommendations:**  
a) *the building could be more harmonious with the street and adjoining properties by:*  
1) *less colour*  
2) *more planting*  
b) *ideally the building should have a sloped roof*  
c) *because of the building's simple shape and form, it has potential to become an attractive asset to the street through future renovations.*

**BLOCK 9**  
**ST. JAMES STREET TO BEDFORD**  
**AVENUE**

The central portion of this block contains mostly smaller buildings of a similar period of moderate interest. In general, many of the houses could be enhanced with minor renovations, i.e., painting, stripping away of cosmetic renovations, etc.  
St. Joseph's Roman Catholic Church, formerly St. Andrews, is an architectural landmark on the corner of St. James Street and Brant Avenue.



- a) #239  
An older building that has been substantially renovated into a modern storefront. Currently of little architectural significance; however, simple form could be renovated in future to create attractive and distinctive character.  
**Recommendations:**  
1) *major renovations required to significantly change and improve appearance of facade*  
2) *minor cosmetic changes should be considered to enhance current storefront, i.e.,*  
a) *larger size light fixtures in scale with aluminum storefront*  
b) *new sign, traditional horizontal sign board design*  
c) *retractable storefront awning to provide three-dimensional interest and colour*

- b) #241  
A late Neo Classical Cottage of attractive proportions.  
**Recommendations:**  
1) *enhance landscaping and maintenance*  
2) *restore entrance door, long term goal*



- c) #243  
A later brick residence with second-storey addition over entrance.  
**Recommendation:**  
1) *long range: renovation of addition and entrance vestibule in design and materials to achieve compatibility with the style of original house.*





d) #245  
An original interpretation among a group of three similar structures. No major renovations required.

e) #247/249  
Similar houses with only minor renovations to original design.  
**Recommendations:**  
1) delete vertical aluminum siding on porch front of #247  
2) shutters on both #'s 247 & 249 should correspond with window shape and size.

f) #251/253  
Similar houses with only minor renovations to original design.

g) #255  
Unobtrusive contemporary bank building. Major renovation would be required to transform building to more positive streetscape element - not recommended, but possible long range goal.

**BLOCK 10**  
**BEDFORD AVENUE TO ST. PAUL**

a) #261/263  
A pair of Ontario cottages.  
**Recommendations:**  
1) conservation required of #263 porch and railing  
2) landscape maintenance and enhancement required for #263.  
3) railings of #261 should be replaced with replica of railings remaining on #263.



b) #265  
Early Ontario Cottage circa 1870; painted brick with applied cosmetics.  
**Recommendations:**  
1) alternative colour schemes may enhance appearance and restore original character and ambiance  
2) cosmetic renovations should be deleted or replaced with details which replicate original designs, i.e., shutters, front door and entrance door trim.

c) #267  
An early house significantly altered; however, original form retained.  
**Recommendations:**  
1) establish stronger edges, for example, wall and soffit; apply crown/cornice moulding  
2) restoration of Edwardian porch addition would be desirable; however, if additional space is required, infilling would be more sympathetically treated, i.e., improve window proportions, sub-divide glazing in larger sections, define lower section by panels and utilize colour to articulate elements such as columns  
3) revise colour scheme too give added "life" and character to the building.



- d) #269  
A Greek Revival storey and a half building compromised by stylized traditional improvements.  
**Recommendations:**  
1) preferable to remove siding  
2) alternatively, board and batten siding should be traditionally detailed with crown moulding and proper sill details.  
Pedimented heads over windows should be reduced and proportioned to window size. Shutters should appear operable. Canvas awning should be replaced with traditional entrance porch.



- e) #271  
A Late Queen Anne Circa 1910. No significant changes recommended.



- f) #273/275  
A semi-detailed dwelling.  
**Recommendation:**  
1) conservation of brick work required



**BLOCK 11**  
**COLBORNE TO PRINCE CRESCENT**  
This block is occupied by the Castellated Armoury Building, a Brantford landmark, and forms a distinctive terminus to Brant Avenue's Heritage District.

**BLOCK 12**  
**PRINCE CRESCENT TO SCARFE**  
This block is not visually cohesive. It suffers from poor maintenance of lands and buildings in some instances, and misconceived renovations/improvements in others. The continuity of the block is broken by #36 Brant Avenue, which appears currently as an overgrown, unoccupied site.

**Individual Recommendations are as follows:**



#32  
An Edwardian House which has undergone major modern renovations involving a new glazed front addition.  
**Recommendation:**  
1) further improvements are not required; however, the building would benefit from additional tree planting and landscaping to soften appearance of the building and screen the front yard parking.



#34

This Late Italianate Style building has been disguised by an "American Colonial" one-storey addition. Restoration of the structure to its original condition would be impractical.

**Recommendation:**

*1) long term objective would be to undertake further cosmetic changes to alter the appearance of the one-storey addition. The numerous large bow windows are disproportionately large, and the short mansard roof is too shallow. Modifications to these two features in particular would make the overall building less artificial. Current or future owners may wish to create a more accurate interpretation of traditional style.*

#36

An early Ontario Cottage, circa 1855, to be maintained as part of a condominium project in the rear portion of the property.

**Recommendations:**

- 1) maintain and restore the original house*
- 2) maintain as many of the mature trees on the property as possible*
- 3) provide required parking to the rear of the existing house.*

#40/42

Two matching Late Italianate houses.

**Recommendations:**

- 1) conservation and general maintenance improvements required*
- 2) additional planting would benefit both houses*
- 3) apply new colour schemes and restore entrance canopies, specifically replication of original columns.*



**BLOCK 13**

**SCARFE AVENUE TO CHURCH**

This block has considerable potential for improvement. It contains several attractive Late Italianate houses which would help unify and link the streetscape. It is unfortunate that the modern building, #54 Brant Avenue, is eclectic in appearance, combining traditional French Provincial elements with modern materials and stylistic treatments, such as narrow "slot" windows.

**Recommendations:**

*This block could be unified by enhancing the quality of the heritage buildings, which would in turn reduce the visual impact of the infill building. It breaks the rhythm of the streetscape.*

**Recommendations for individual buildings is as follows:**

a) #48/50

Two Late Italianate residences are linked by a later central portion.

**Recommendations:**

- 1) a new colour scheme could enhance the appearance of the building(s).*
- 2) enhance the property with additional landscape and new pedestrian walkways*

There are numerous long range recommendations to be considered:

- 1) reconstruction of the large entrance canopy in a manner similar to the numerous Edwardian porch additions of Brant Avenue*
- 2) restoration of the brickwork (chemical removal of paint)*
- 3) replacement of existing storms on second floor with new, shaped to match semi-circular window heads*

- 4) replacement of link windows and cladding with new cladding and windows in sympathy with the design of the neighbouring buildings
- 5) replacement of existing doors with new in sympathy with the original building design.



b) #54  
A modern infill building, well maintained. No recommendations necessary.



c) #56  
No major changes are recommended.

d) #58  
An attractive Late Italianate building occupies an important corner location. The house has been rehabilitated and is well maintained.



**Recommendation:**  
1) Renovation of storefront as a distinctive separate element, compatible with the well detailed and ornate Italianate residence attached.



**BLOCK 14**  
**CHURCH TO WATERLOO**

An attractive streetscape interrupted by a modern office clinic and parking lot in the centre.

**Recommendation:**  
1) develop a rhythm of planting along the street which will visually bridge the gap created by the clinic and parking lot.  
The individual building recommendations are as follows:

- a) #60  
A late Italianate building which occupies a vital corner.  
**Recommendations:**  
1) replace two (2) signs with one (1) which fits original sign band - refer to signage guidelines  
2) conceal infill of old doorway; provide attractive "boarding-up" of opening, i.e., double shutter, false door, sign panel, or display case  
3) remove clutter of signage in storefront windows - organize displays to obtain maximum impact  
4) control quantity of streetscape furnishing (vending equipment)  
5) new colour scheme and paint work could be utilized to articulate the building's features and give greater visual presence.

- b) #64/64A  
An attractive building compromised by a south addition and porch.  
**Recommendations:**  
1) enhancement of the additions to blend them with the original building, i.e., double existing porch columns or replace with double round columns  
2) define edge of porch roof with railings or  
3) accentuate beam support  
4) define lower edge with moulding and apply crown mould to junction with soffit  
5) accentuate steps and side walls by visually extending the hedge planting to the sidewalk  
6) consider replacing that portion of brick wall above porch with traditional wood railing





- 7) undertake conservation of roof and brickwork
- 8) consider new colour scheme to enhance existing appearance
- 9) replace storms on second floor with ones which replicate round window heads

c) #66/68/70  
An excellent Neo Classical building despite changes.

**Recommendations:**

- 1) relocate airconditioner on front facade if possible
- 2) replace entrance doors with ones more sympathetic to the design of the building
- 3) front porch for #68 and #70 is stripped of detail and its opening appears too wide in proportion to its height; narrow openings visually by doubling side columns
- 4) renovate existing addition on south side to either blend with original building or "stand alone" as separate but attractive, well-proportioned addition.

d) #72  
A modern office building that appears as a simple wall.

**Recommendation:**

- 1) unify the streetscape and specific property by creating a rhythm of tree planting across the width of the property including both building and parking lot
- 2) supplement tree planting with additional plant material for interest and colour and year round screening for parking lot.



e) #80  
A contemporary building which utilizes traditional roof form and details.

**Recommendations:**

- 1) the entrance vestibule conflicts with the scale and style of the facade; therefore, a long term solution would be the construction of a larger vestibule in proportion to the building height and height of windows as a visual focus for the facade
- 2) continue the landscaping program recommended for #72 across the facade of #80.



f) #82  
No significant changes required or recommended.



g) #84  
An excellent example of Queen Anne shingle style, despite compromising renovations and additions.

**Recommendations:**

- 1) Long Term:  
replacement of large modern windows with divided sections in proportion with the original design
- 2) Short Term:  
continue landscape program recommended for #72 across property to screen parking and create a transitional area between building and street.



**BLOCK 15  
WATERLOO TO LORNE CRESCENT**

An important block of large architecturally significant buildings, whose preservation is critical in maintaining the quality of Brant Avenue's Streetscape.

The recommendations for the individual buildings are as follows:

a) #86  
A Tudor Revival/English Domestic building, circa 1912, requires landscape relief and screening of front parking area.

b) #88  
A magnificent Italianate building, well maintained as a Funeral Home.

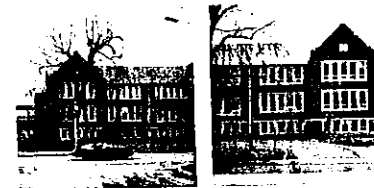
**Recommendations:**

1) *There are several long term improvements to be considered as refinements rather than needed changes:*

a) *facade improvements to the additions to further enhance and compliment the Italianate design of the original structure*  
b) *reduction of the width of the porte-cochere which dominates the building facade*

c) *reconstruction of the yard sign base and pedestal*

2) *Short Term:*  
*most significant improvement both long- and short-term would be to screen, where possible, the parking and driveway areas and/or reduce the extent of the asphalt by the introduction of unit paving in brick, stone and/or cobblestone design.*



c) #90  
An excellent Gothic Revival building, circa 1865.

**Recommendations:**

1) *Long Term:*

a) *redesign porte cochere*  
b) *enhance south addition to further blend with original building*

c) *improve front lawn signage*

2) *Short Term:*

a) *screen parking and enhance parking materials*

d) Brantford Collegiate  
No significant changes required or recommended.

e) #136  
A Neo Classical building, circa 1865.

**Recommendations:**

1) *landscape front yard for visual relief*

2) *renovate front entrance; more sympathetic treatment required, currently provides no focus for facade*

3) *replace or infill second floor window to enhance facade*

f) #140  
A prime example of the Queen Anne style, well maintained and landscaped; no recommendations needed.



- g) #142  
A Late Italianate structure that has suffered from a few unsympathetic renovations.  
**Recommendations:**  
1) *landscape front yard for visual relief*  
2) *remove existing aluminum entrance canopy and replace with traditional design sympathetic with the building design*  
3) *restore ground floor window to re-establish balance and symmetry*  
4) *colour scheme to enhance appearance of house and to articulate architectural details.*

**BLOCK 16**  
**LORNE CRESCENT TO LORNE**  
**CRESCENT**

One of the finest blocks of the entire street. Each building has been assessed as architecturally significant and of landmark quality. Most of the buildings in the block have also been well maintained. The continued preservation of this fine streetscape in the central section of Brant Avenue is of high priority.

**The following are recommendations for the individual buildings in this block:**

- a) #148  
An excellent example to Late Italianate attractively landscaped with specimen planting. No major changes are required or recommended.
- b) #152  
A well maintained Late Italianate. No changes required or recommended.



- c) #156  
A well proportioned Late Italianate building.  
**Recommendations:**  
1) *restoration of exterior adjacent building #152 and corner property #164 illustrate potential and can guide approach*  
2) *additional landscape planting needed for relief, as well as new paving*  
3) *when renovated, shingle and paint colours should be replaced to compliment.*



- d) #160  
A good example of Late Italianate.  
**Recommendations:**  
1) *restoration as per #152 and #164 recommended*  
2) *restoration of brick work is recommended by chemical cleaning*  
3) *employ new colour scheme to enhance building and to articulate Italiante details*  
4) *landscape improvements should use traditional paving materials, i.e., cut stone, cobblestone or brick*  
5) *restore and accentuate entrance; consideration should be given to reducing extended porch and retaining only small entrance porch; refer to #156, (original design would be enhanced).*







e) #164  
A good example of Late Queen Anne. No significant changes required, except for landscaping.

**Recommendation:**

1) *cut back or replace overgrown foundation planting; extend landscape planting outward toward street with some specimen planting.*



f) #166  
An important example of Late Italianate at corner.

**Recommendations:**

- 1) *cut back or replace landscape planting*
- 2) *remove paint chemically from brick work*
- 3) *repair porch floor*

**BLOCK 17**  
**LORNE CRESCENT**  
**TO PALMERSTON**  
**AVENUE**

This block contains a number of conversions to retail commercial use. The buildings in general, are significantly smaller than those one block south. The size of the property and scale of the buildings has in the past encouraged purchase by small entrepreneurs, who have in turn renovated to accommodate new uses. Because of the proximity of the buildings to Brant Avenue, inappropriate renovations are very evident to those passing by.

The priority for this block is to guide renovation and to encourage to the degree possible, restoration rather than redesign.

The recommendations for the individual buildings are as follows:

- a) #178  
A substantial building circa 1875 that has had a number of alterations.  
**Recommendations:**  
1) refer to recommendation for corner drugstore #179 Brant Avenue; similar condition prevail  
2) restore storefront windows  
3) restore exterior openings or infill in satisfactory manner  
4) repaint exterior.



- b) #180/182  
Two attractive buildings, which have been compromised by insensitive alterations.  
**Recommendations:**  
1) repair both buildings utilizing new colour scheme  
2) enhance entrance steps, paving & landscape planting  
3) replace old asphalt roofing  
d) replace entrance #180  
e) enlarge storefront window #180 and utilize traditional awning  
4) long range replacement of sign or sign face #180.

- c) #184  
Facade redesigned. Further changes could be undertaken to enhance facade, restoration however not feasible or recommended.  
**Recommendations:**  
1) increase height and density of landscape walls  
2) add detail to canopy over bay window i.e., raised is better  
3) add emphasis to entrance: utilizing brick detailing, cast stone, signage.  
4) develop French balcony as a distinctive design element.

- d) #186  
A small well maintained property.

- e) #188  
A Greek Revival circa 1870 to be preserved.





f) #192  
A Late Italianate structure with new cladding. Major improvement can only be achieved through the process of restoration.  
**Recommendations:**  
1) *remove applied siding and angel stone*  
2) *remove modern vestibule & replace with traditional porch*  
3) *replace overgrown foundation planting*  
4) *restore original details.*



g) #194  
An attractive Ontario Cottage requiring similar approach as per #192.



h) #198  
A Late Italianate design, well maintained. No major drapes required.



i) #200  
An attractive Ontario Cottage with a gothic gable vent. This well maintained structure requires only wood shingle roof to complete excellent renovation.  
**Note: Lowhedge planting defining property is very appropriate.**



j) #204  
An attractive, well maintained American Cottage/or shingle style house. Other than original wood shingle roof this house has been accurately maintained as period piece.



k) #206  
An attractive Ontario Cottage with distinctive low-pitch gable. With minor restoration this house could be a very handsome example of its style.  
**Recommendations:**  
1) *remove shutters and replace with operable shutters scaled to window width*  
2) *reshingle roof in wood or more positive shingle colour*  
3) *remove entrance canopy or replace with porch design appropriate to building design*  
4) *restore entrance*  
5) *remove front yard parking space*  
6) *replace foundation planting with simple, symmetrical planting design, utilizing columnar or vertical specimens at ends of the wall or framing entrance.*



l) #208  
An attractive, well proportioned Ontario Cottage.  
**Recommendations:**  
1) *revise jarring colour scheme.*  
2) *enhance front yard landscaping refer to Ontario Cottage #200 Brant Avenue.*



m) #212  
A Late Italianate building requiring restoration. Numerous other buildings along Brant Avenue of a similar design. This building has been largely preserved and requires minimal work to enhance its appearance.  
**Recommendations:**  
1) *restore brick or repaint.*  
2) *enhance landscaping both planting and paving.*



n) #214

A well maintained Ontario Cottage which has been renovated and landscaped.

**The following recommendations are related to design refinements and therefore could be considered long term considerations:**

- 1) *replace semicircular awnings with mere traditional angular style.*
- 2) *the large entrance canopy is disproportionately large and should scaled down traditional unit or replaced with traditional porch design.*
- 3) *replace dark trim colours with lighter tones to enliven facade.*
- 4) *replace existing concrete pavers & wood awning with traditional curving & paving materials of brick and stone.*

o) #216

A good period piece requiring conservation and landscaping only.



p) #218

A Late Neo-Classical residence converted to retail store with modern storefront and large sign band. Because of the extent of the existing changes the following recommendations must be considered as long term solutions. The design approval should be oriented to renovation versus restoration.

**Recommendations:**

- 1) *a reduce depth and width of sign band, contain within building sidewalls.*



2) *replace existing aluminum storefront with traditional design in wood or coloured aluminum.*

3) *replace entrance door with new distinctive design which will create more positive welcome for visitors.*

q) #2

Palmerston: Flank only to Brant Avenue.

**Block 18**  
**PALMERSTON AVENUE TO ADA AVENUE**

Block 18 and Block 19 from Palmerston to St. Paul's Avenue contain a large number of houses from the period of 1910 to 1920. The relatively similar size (small) and predominance of the Ontario Cottage style helps create a unity within these two blocks. The two blocks however suffer from major renovations which have occurred to these smaller homes and the introduction of suburban bungalows within the streetscape fabric. Sympathetic renovation and restoration of the homes along this section could significantly ensure the value and impact of this northern end of Brant Avenue. **The recommendations for individual buildings along these two blocks are as follows:**

Open Space, St. Andrew's Park.



- a) #242  
A Romanesque Revival style similar to #2 Palmerston requires no major changes. The following recommendations are design refinements for consideration:
- 1) *replace metal garage door with traditional panelled painted or stained wood door.*
  - 2) *reshingle roof in wood or heavy asphalt shingles.*
  - 3) *repaint trim accentuating details.*



- b) #246  
Only the form of a Late Classical building remains and could be retained with cosmetic improvements, or it could be restored as a period piece.



- c) #248 & 258  
A pair of Ontario Cottages. With minimal work both could be enhanced to quality of #200 Brant Avenue.



- d) #254  
A Late Italianate design that has been badly compromised. Character and quality could be restored. Refer to recommendations for #40 and #42 Brant Avenue.  
**Note: Restoration of arched windows and openings would be critical to any success of renovation or restoration program.**



- e) #4 Ada  
Suburban bungalow. A variety of improvements possible, no specific approach recommended. Emphasis should be on simplifying front elevation and reinforcing entrance as focal element

**BLOCK 19**  
**ADA AVENUE TO ST. PAUL AVENUE**



- a) #266  
A Late Queen Anne with cast stone entrance addition.  
**Recommendations:**
- 1) *renovate entrance vestibule as both a more positive and harmonious addition.*
  - 2) *subdivide vertically enlarged window opening in proportion with original windows east side.*



- b) #268  
A suburban bungalow circa 1955.  
**Recommendation:**
- 1) *restore front lawn and install new planting and grass.*
- c) #270  
A renovated Late Queen Anne, illustrates a rather brutal redesign approval.  
**Recommendations:**
- 1) *repaint new facade to blend with painted brick.*
  - 2) *reduce size and quantity of signs; use horizontal format to help unify design.*
  - 3) *maintain paintwork.*



- d) #274  
A small Ontario Cottage.  
**Recommendations:**  
1) refer to #200 Brant Avenue.  
2) replace shutters with appropriate size.  
3) restore windows & door.  
4) repaint or restore brickwork.  
5) replace lighting with style fixture in scale with facade.  
6) replace stoop with wood landing broad wood steps, and wood balastrade.  
7) enhance landscaping.



- e) #276  
A Romanesque revival building requiring no major changes.



- f) #278  
An Ontario Cottage refer to comments re: #200 Brant Avenue.



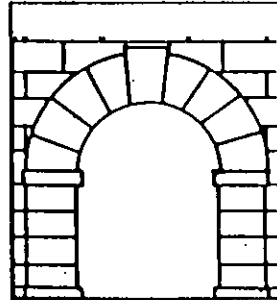
- g) #280  
Similar comments as per #278 above.



- h) #282/284  
Similar houses, Late Neo-Classical considerably altered; oriented more to St. Paul's. May have to be sacrificed in the future to provide needed road improvements.

**1. ARCH:**

A structural method of spanning an opening, usually rounded, and often made from brick or stone



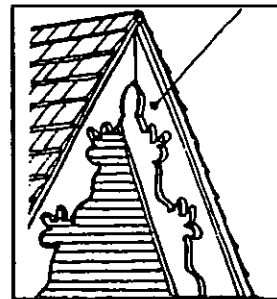
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**2. BALANCE:**

The appearance or state of being equal and stable. In architecture, balance is frequently achieved by the use of symmetry and repetition. Balance in the design of the facades may be simple or complex, symmetrical or asymmetrical.

**3. BALUSTER:**

Upright supports of the handrail; in a group known as balustrade. (see illus. 52).



4

**4. BARGEBOARD:**

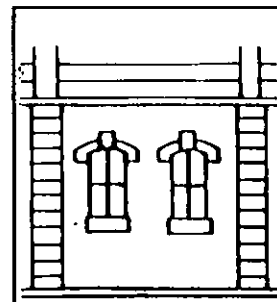
The point, a board, or series of laminated boards that are often decorative covering the projecting rafter of the gable end of a roof. Also known as vergeboard.

**5. BATTEN:**

A narrow strip of wood frequently used to cover a seam.

**6. BAY:**

A vertical division of the exterior/interior of a building identified, not by walls, but by a repetition of equal elements, i.e., windows, archways, roof compartments, gables, etc.



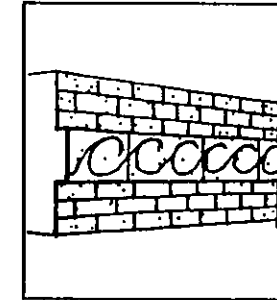
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**7. BAY WINDOW:**

An angular glazed projection. If the projection is curved, it is known as a bow window. If it is on an upper floor only, it is called an oriel window.

**8. BELT COURSE:**

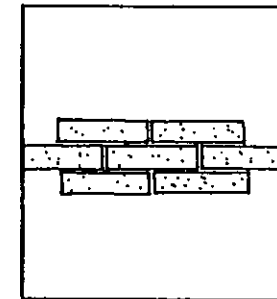
A continuous horizontal band, either plain or ornate, which projects from the surface of an exterior wall separating two storeys.



8

**9. BOND:**

The method of overlapping the joints of successive courses of brick or stone, binding them together to form a wall or other surface. Different patterns may be formed, i.e., running bond, Flemish bond, and English bond.



9

**10. BRACKET:**

A supporting piece of wood, stone or other material, often formed in scrolls or volutes to carry a projecting weight, such as a cornice, eave, lintel or sill.

**11. BRICK PAVER:**

Dense bricks of low absorption manufactured to pave streets, walkways, patios, driveways, etc.

**12. BUTTRESS:**

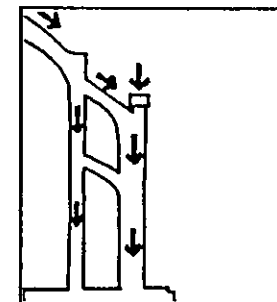
A projection of masonry or other material built against the wall to give additional strength, and to carry roof and wall loads to the ground.

**13. CANOPY:**

A sheltered projection over a door or window.

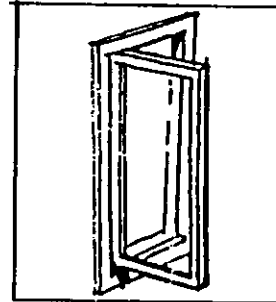
**14. CANTILEVER:**

A horizontal projection, eg., a step, balcony, beam or canopy, without visible means of support or bracing.



12

15. **CAPITAL:**  
The top or crowning feature of a column  
casement window.

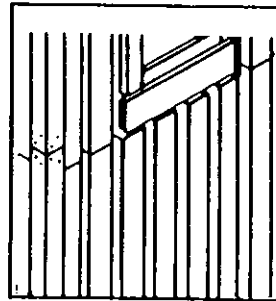


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16. **CASEMENT WINDOW**  
A window opening outward on side hinges.

17. **CLADDING**  
A protective surfacing material, i.e., wood  
and aluminum.

18. **CLAPBOARD:**  
Overlapping horizontal boards, usually 4 - 6"  
deep, covering a wood framed wall; the  
boards are wedge-shaped section.

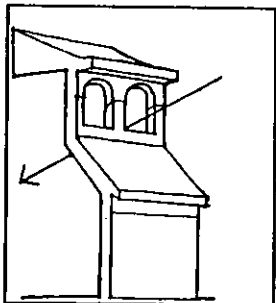


17

19. **CLERESTORY:**  
An upper section of wall pierced by  
windows to provide natural daylighting.

20. **COLOUR:**  
Colour has three basic characteristics: hue,  
value, and intensity. Hue is the name of the  
colour, or the actual light wave length.  
Value refers to the lightness or darkness of a  
colour. Intensity refers to the vividness or  
purity of the colour.

21. **COLUMN:**  
A supporting pillar, traditionally consisting of  
a base, shaft, and capital.



19

22. **CORBEL:**  
A bracket or decorative detail formed by  
extending successive courses of brick  
outward so that they project from the wall  
surface.

23. **CORNERSTONE:**  
Cut stone or other material placed at the  
corner and base of a building, with its date  
of construction.

24. **CORNICE:**  
It is the top projecting section of an  
entablature. It is also any projecting  
moulding along the top of a building,  
finishing or crowning it. (see Illus. 34).

25. **COURSE:**  
A single line of material, eg. bricks, stone,  
block.

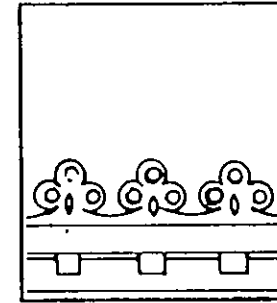
26. **CRESTING:**  
A decorative ridge or railing on the top of a  
roof or wall.

27. **CUPOLA:**  
A circular or polygonal lantern situated on a  
dome, usually at the top of a building. It is  
also known as a belvedere.

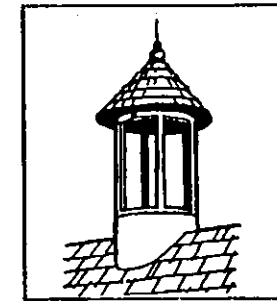
28. **DENTIL:**  
A series of small rectangular blocks or teeth  
applied as an ornament in a cornice or belt  
course.

29. **DOME:**  
A vault of even curvature. Its section may be  
segmental, semi-circular, pointed, or  
bulbous.

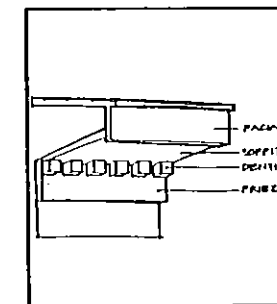
30. **DORMER WINDOW:**  
A window and its surrounding structure that  
projects from the slope of a roof. An eye-lid  
dormer resembles the shape of the human  
eye. Dormer windows may take many  
shapes and forms.



28



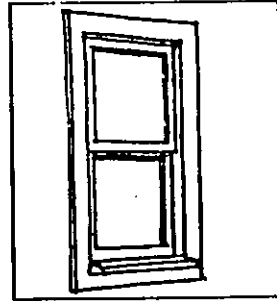
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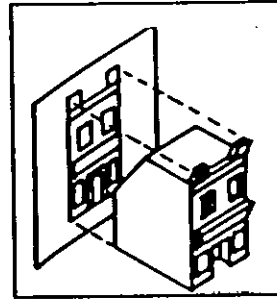
31. **DOUBLE HUNG WINDOW:**  
A window consisting of two sashes which move vertically up and down to open. Traditionally hung with lines, weights, and pulleys.



31

32. **EAVE:**  
The edge and underpart of a roof that projects over an outside wall.

33. **ELEVATION:**  
The external face of a building; also a two-dimensional drawing illustrating any one face of a building as a dimensionally accurate projection on a vertical plane.



33

34. **ENTABLATURE:**  
Classical architecture - the proportion of horizontal bands above the columns, consisting of an architrave, frieze and cornice.

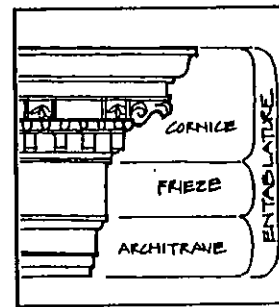
35. **FACADE:**  
The face of front of a building.

36. **FANLIGHT:**  
A semi-circular window with radiating glazing bars, suggesting a fan.

37. **FASCIA BOARD:**  
A horizontal band or member covering the projecting rafters of an overhanging eave. (see Illus. 28)

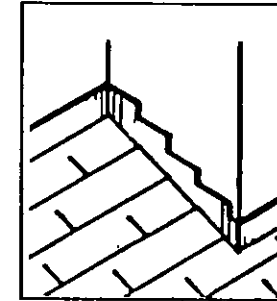
38. **FENESTRATION:**  
The arrangement of windows in a building.

39. **FINIAL:**  
An ornament at the top of a roof, canopy, gable, or pinnacle.



34

40. **FLASHING:**  
Material used to make a weather-tight joint between two materials or surfaces to prevent water penetration and to drain and direct any water that might enter back out.

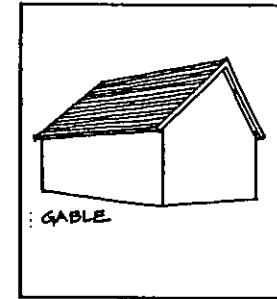


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41. **FRIEZE:**  
An ornamental band on a building, frequently on an upper section of wall. (see Illus. 28, 34).

42. **FURRING:**  
The extension of a surface outward, usually with spaces of wood or metal. Used often to level surfaces.

43. **GABLE:**  
The vertical end of a building from the eaves to the ridge.



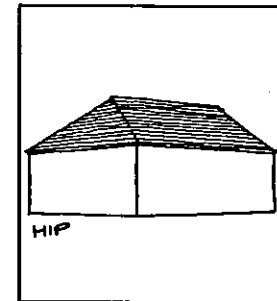
43

44. **GROUT or GROUTING:**  
The mortar used to bind brick or masonry together.

45. **HIP:**  
The external angle formed by the intersection of two sloping sides of a roof over walls running in different directions.

46. **HOOD MOULDING OR DECORATIVE LABEL**  
A decorative moulding used over a door or window for decorative reasons or to shed water.

47. **JAMBS:**  
The vertical sides of an opening. (see Illus. 50, 51).

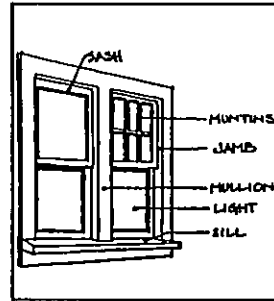


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**48. MASS:**  
The 3-dimensional volume which a building occupies. (see illus. 87).

**49. MOULDING:**  
Projecting detail used for decorative purposes.

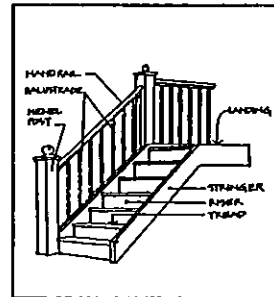
**50. MULLION:**  
A vertical member dividing a window or other opening into two or more lights.



50,51

**51. MUNTIN:**  
A small slender member, traditionally wood or metal, which separates the panes of glass in a window. Know also as a glazing bar.

**52. NEWEL:**  
A large ballster or post situated at the top and bottom of a flight of stairs.



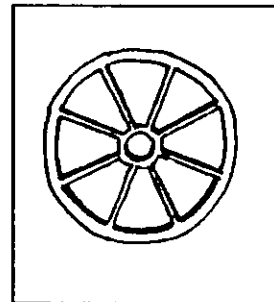
52

**53. OCULUS:**  
A round window.

**54. ORNAMENT:**  
Any detail that is added to a building for decoration.

**55. PALADIAN WINDOW:**  
A window with three openings, the central one being arched and wider than the others.

**56. PARAPET:**  
A wall projecting above the height of the roof.



53

**57. PEDIMENT:**  
The triangular area formed by a roof gable over a dormer, a window, a doorway, or facade.

**58. PILASTER:**  
A vertical, flat or rounded pillar projecting only slightly from a wall.

**59. PINNACLE:**  
A pointed ornament found at the top of a tower or roof.

**60. PITCH:**  
The incline or rise of a roof.

**61. PORCH:**  
A covered entrance to a building; if columned and pedimented like a temple front, it is referred to as a portico.

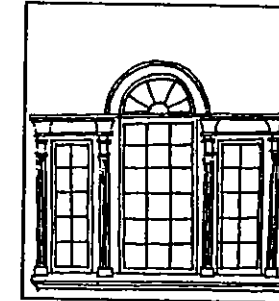
**62. PORTE-COCHERE:**  
The roof and supporting structure extending from the entrance of a building over a driveway to give shelter to people getting in and out of vehicles.

**63. PRESERVATION:**  
Maintaining a structure in its existing form, by preventing further change or deterioration.

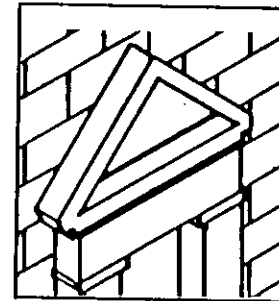
**64. QUOINS:**  
Dressed stone or projecting brick at the corner of buildings, usually laid so that they are alternately large and small to articulate the corners of a building.

**65. RAFTER:**  
A support beam for the roof.

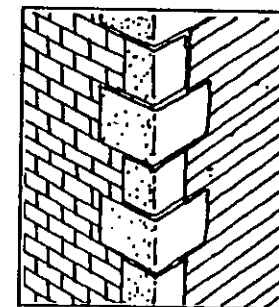
**66. RECONSTRUCTION:**  
Recreation of a building from historical, archeological, and architectural documents, as well as other evidence.



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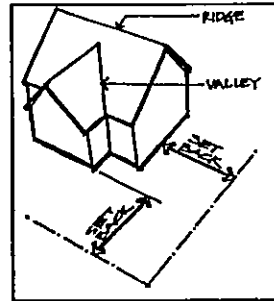
64

67. **RENOVATION:**

Any alteration in structure or detail to accommodate changes in use, function, style, or performance.

68. **RESTORATION:**

Making selected changes to a building to return it to some specific date, often the date of initial construction, replacing changes made after that date with replicated elements.



69,70

69. **RIDGE:**

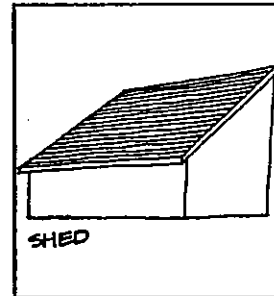
The horizontal or incline line defining the high point created by the junction of two sloping roof surfaces.

70. **SETBACK:**

The distance between a building and its property line.

71. **SHEDROOF:**

A lean-to roof that has only one sloping surface.



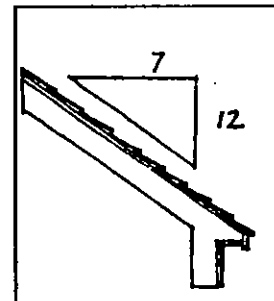
71

72. **SIDING:**

A material used for surfacing a framed building; traditionally horizontal boards or shingles.

73. **SILL:**

The sloping horizontal surface on which a window or door frame rests. (see illus. 50, 51).



74

74. **SLOPE:**

The incline of a roof, usually expressed in ratio of vertical rise to horizontal run.

75. **SOFFIT:**

The underside of any projecting architectural element. (see illus. 28).

76. **SYMMETRY:**

A design, theory in which elements are exactly the same, or balanced, on either side of a centre line.

77. **TRACERY:**

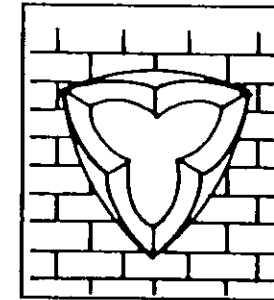
Intersecting ornamental work in the upper portion of a window, screen, panel, arch, or vault.

78. **TRANSOM:**

An opening over a door or large window for ventilation.

79. **TREFOIL:**

A decorative Gothic pattern of three parts resembling a trillium.



79

80. **TURRET:**

A small, slender tower.

81. **UNITY:**

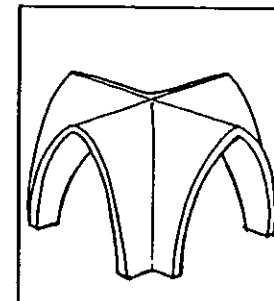
A harmonious and coherent composition of elements forming a whole.

82. **VALLEY:**

The internal angle formed by the junction of two inclined roof surfaces. (see illus. 69, 70).

83. **VAULT:**

An arched ceiling or roof.



83

84. **VENEER**

A thin layer of facing material.

85. **VERANDA:**

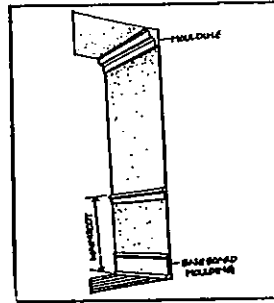
An open gallery, porch, or balcony covered by a roof.

86. **VESTIBULE:**

An anti-hall, lobby or porch.

87. **WAINSCOT:**

The lower three to four feet of an interior wall, differentiated by panelling or other material from the rest of the wall above.



87

88. **WINDOW SASH:**

The frame in which the pane of a window is set. (see illus. 50, 51).

